

**Determination of Effects of Proposed Lake Waconia
Regional Park Development on *National Register Listed*
Coney Island of the West (Site 2ICR0164/
CR-WAT-001), Waconia, Carver County, Minnesota**

SHPO Review and Compliance #2017-0395

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FINAL REPORT**



Management Summary/Abstract

Blondo Consulting, LLC (Blondo Consulting) was retained by WSB and Associates (WSB) on behalf of Carver County Parks to complete a Determination of Effects on the *National Register of Historic Places* listed Coney Island of the West Site (21CR0164/CR-WAT-001) as part of the proposed Lake Waconia Regional Park, Coney Island of the West. The island is located in Lake Waconia, within Township 116 north, Range 25 west, Sections 12 and 13 of Carver County, Minnesota.

A Phase I Cultural Resource Survey of the island was completed in October through November 2016 and a Phase II Archaeological Evaluation of the island was completed in May through June 2017. Coney Island of the West was previously listed in the *National Register of Historic Places*. During these surveys, the *National Register* listed site was evaluated to determine whether it continued to retain sufficient integrity for listing, and a previously unrecorded prehistoric archaeological component was identified. Following the cultural resource work on site 21CR0164/CR-WAT-001, it was Blondo Consulting's recommendation that Coney Island of the West retains historical significance and integrity for continued listing in the *National Register of Historic Places* and that the original listing be expanded to include Criterion A and D. In October 2017, the Minnesota State Historic Preservation Office reviewed the project and concurred with the recommendation that Coney Island of the West remain on the *National Register* and that the prehistoric component be added. Details of these investigations can be found in the reports completed by Blondo Consulting, *A Phase I Cultural Resource Assessment of the Proposed Lake Waconia Regional Park, Coney Island of the West*, January 2017; *A Phase II Prehistoric Archaeological Evaluation of the Coney Island of the West (Site 21CR0164), Waconia, Carver County, Minnesota*, July 2017; *Phase II Historic Evaluation of the Coney Island of the West National Register of Historic Places Listing, Waconia, Carver County, Minnesota*, September 2017; and *Phase II Additional Analysis of the Coney Island of the West (Site 21CR0164), Waconia, Carver County, Minnesota*, April 2018.

This report will discuss recommendations regarding the potential effects on the *National Register* listed site as a result of the proposed Lake Waconia Regional Park, Coney Island of the West improvements.

WSB has developed a proposed trail alignment that will travel from east to west along the south side of the island and will include amenities such as vault restrooms, picnic areas, and dock access. As part of these proposed improvements, some areas of the island will be adversely affected by construction activities. Discussion of these potential effects are contained in this report. Based on the review of the proposed Phase One Improvement Plan, Blondo Consulting recommends the Coney Island of the West Historic Property will be adversely affected. The plans evaluated at this time are at thirty percent completion and represent an initial proposed Phase One development of Coney Island. WSB, on behalf of Carver County Parks, will take recommendations contained in this report and following agency review of this thirty percent plan set into consideration in order to appropriately address the proposed modifications within the listed Historic Property.

Steps are already in place to minimize disturbance to the Historic Property and overall, Carver County Parks and WSB are developing plans that will highlight the historic significance of Coney Island while also providing modern conveniences to continue the tradition of tourism and recreation on the island. Blondo Consulting offers additional recommendations on avoidance or minimization of effects to specific contributing elements of the Historic Property within this report. If avoidance or minimization of effects is not a possibility, options for mitigation techniques are included. Management strategies for completing cleanup and park development of this significant multi-component archaeological Historic Property are also outlined throughout the report where appropriate.

Table of Contents

- 1.0 INTRODUCTION AND PROJECT BACKGROUND.....1**
- 2.0 AREA OF POTENTIAL EFFECT2**
 - 2.1 Proposed Project Design3**
- 3.0 RESEARCH DESIGN4**
 - 3.1 Objectives4**
 - 3.2 Methodology5**
 - 3.3 Previous Cultural Resource Investigations.....5**
 - 3.4 National Register Criteria Discussion6**
 - 3.5 Assessment of Potential Effects.....7**
- 4.0 RECOMMENDATIONS/DETERMINATION OF EFFECTS..... 10**
 - 4.1 Map B 12**
 - 4.2 Map C 16**
 - 4.3 Map D 20**
 - 4.4 Map F 23**
 - 4.5 Map G 29**
 - 4.6 Map H 34**
 - 4.7 Map I 38**
 - 4.8 Map J 44**
- 5.0 DISCUSSION AND CONCLUSIONS49**

References Cited/Bibliography

Attachment I: Maps

1.0 INTRODUCTION AND PROJECT BACKGROUND

Blondo Consulting, LLC (Blondo Consulting) was retained by WSB and Associates, Inc. (WSB) on behalf of Carver County Parks to complete a Determination of Effects on the *National Register of Historic Places* listed Coney Island of the West Site (21CR0164/CR-WAT-001) as part of the proposed Lake Waconia Regional Park, Coney Island of the West, in Waconia, Minnesota. This report answers that request. This report follows Phase I and II investigations of the entire 31.85-acre island located in Lake Waconia, within Sections 12 and 13 of Township 116 North, Range 25 West, Carver County, Minnesota. Details of these investigations can be found in four previous reports completed by Blondo Consulting: *A Phase I Cultural Resource Assessment of the Proposed Lake Waconia Regional Park, Coney Island of the West*, from January 2017; *A Phase II Prehistoric Archaeological Evaluation of the Coney Island of the West (Site 21CR0164), Waconia, Carver County, Minnesota*, from July 2017; and *Phase II Historic Evaluation of the Coney Island of the West National Register of Historic Places Listing, Waconia, Carver County, Minnesota*, from September 2017; and *Phase II Additional Analysis of the Coney Island of the West (Site 21CR0164), Waconia, Carver County, Minnesota*, April 2018.

Carver County Parks has added Coney Island of the West to its Lake Waconia Regional Park boundary. Their vision for the park is to, “provide the region-wide population a unique park experience focused on the shores of Lake Waconia. An accessible and inclusive balance of active, passive, and culturally significant recreational opportunities will be realized within the overall context of a natural park setting, in an economically sustainable manner” (Carver County Parks 2016:1.1). The ultimate plan with developing Coney Island of the West as part of the Lake Waconia Regional Park is to provide year-round recreational opportunities, while maintaining the natural setting of the island and highlighting its historical significance (Carver County Parks 2016). This mission comes from the goal of Norm and Ann Hoffman, who donated the island to the county.

“A local resident, Norm Hoffman understood the importance of the island to the community and purchased the island from the remaining land owners. He then went through an extensive process to ensure the island would become a part of the Lake Waconia Regional Park in order for it to be accessible by the public with the intent to focus on maintaining the historical and cultural appeal of the island while allowing for more passive recreational opportunities” (Carver County Parks 2016:2.14)

The project is planned to be completed in phases. Discussion in this report is on Phase One of the long-term improvement plan.

Coney Island of the West was previously listed in the *National Register of Historic Places* for its significance in tourism and recreation within Waconia and the greater Twin Cities region. Following the cultural resource investigations on the island in 2016 and 2017, it has been determined that Coney Island retains significance and integrity for inclusion in the *National Register*. As a listed Historic Property, development of the island by Carver County Parks requires

a cultural resources survey and consultation with the Minnesota State Historic Preservation Office (SHPO) under Minnesota Statute 138, which includes the Minnesota Field Archaeology Act and the Historic Sites Act. Minnesota Statute 138 states, “the state, state departments, agencies, and political subdivisions, including the Board of Regents of the University of Minnesota, have a responsibility to protect the physical features and historic character of properties designated in sections 138.662 and 138.664 or listed on the National Register of Historic Places created by Public Law 89-665. Before carrying out any undertaking that will affect designated or listed properties, or funding or licensing an undertaking by other parties, the state department or agency shall consult with the State Historic Preservation Office pursuant to the society’s established procedures to determine appropriate treatments and to seek ways to avoid and mitigate any adverse effects on designated or listed properties” (MS 138.665 Subd. 2). Steven J. Blondo, MA, Kelly Wolf, MA, RPA of Blondo Consulting, in consultation with Jeremy Nienow, PhD., RPA of Nienow Cultural Consultants, LLC are Principal Investigators for this project. All three meet the Secretary of the Interior’s Professional Qualifications Standards and are Licensed Minnesota Archaeologists.

To date, Carver County Parks has been proactive in their responsibility to protect the Coney Island Historic Property. Currently the island is abandoned and the remaining buildings and structures are in a state of disrepair. Despite “Private Property” and “No Trespassing” signs, vandalism and depositing of trash is common on the island. If the island is left in its current state, it will continue to deteriorate.

The proposed project will involve various at-grade or below-grade construction activities including the installation of an aggregate path that travels from the southeast corner of the island to the southwest corner of the island; day-use areas that will include picnic areas and vault restrooms; general vegetation clearing and maintenance; clean-up, repair, removal, and interpretation of select historic features; and the installation of docks and boat landing areas.

The cultural resources investigations on the island as part of the proposed park improvements have involved a background literature search, in-depth historical research, Phase I and II archaeological survey, in-depth artifact analysis, consultation with the Minnesota State Historic Preservation Office (SHPO), the Office of the State Archaeologist (OSA), the Minnesota Indian Affairs Council (MIAC), and local tribal members (including Leonard Wabasha, Shakopee Mdewankanton Cultural Resource Director). A recommendation of effects to the Coney Island of the *West National Register* listed Historic Property is included in this report.

2.0 AREA OF POTENTIAL EFFECT

There are two Areas of Potential Effect (APE) for Coney Island of the West. The Indirect (Visual) APE consists of the entire island. The Direct APE consists of the proposed areas of ground disturbing activities. The improvement plans as proposed by WSB on behalf of Carver County Parks, have been broken up into phases. The Phase One Improvement Plan proposes the identification of initial clean-up to allow for safer recreational use and the construction of a trail

running generally east to west across the island along with day-use areas for picnicking and associated amenities.

Initial removal of site debris and materials within select locations across the island is proposed to be completed by Carver County Parks prior to construction activities. This cleanup effort will include the use of volunteers and will focus on modern trash collection. Any materials or areas considered structurally unsafe, or hazardous will be cleaned up during construction activities by the Contractor. Any areas that will not be involved in the initial development of the island are proposed to be blocked using fencing and signage and will be included in future phases. Each visible historic ruin has been noted with a priority level for cleanup during this Phase One plan. Initial public volunteer cleanup efforts are scheduled for June 2 and 16, 2018 and September 8 and 22, 2018.

2.1 Proposed Project Design

The proposed trail alignment has been designed to either avoid or highlight historic ruins and archaeological features. Interpretation of these ruins and features is proposed to be included in future park improvement phases to take place at a later date. Various proposed applications and treatments of these features are included in the Phase One Improvement Plan along with a priority level (low, medium, high). There are five proposed options outlined for historic structural features on the island. These include:

Option 1: Minimal modifications to include removal of debris, hazardous materials, adjacent vegetation as necessary, and general clean-up of the area. Leave foundation in place as-is or undertake minimal stabilization techniques for potential future interpretation.

Option 2: Moderate modifications to include removal of debris, hazardous materials, adjacent vegetation as necessary, and general clean-up of the area. Fill in foundation with granular fill and filter fabric and/or leave partial wall or foundation exposed for potential future interpretation. Some structures may need stabilization techniques and/or partial repair of remaining exposed structures (drain tile, masonry or grout caps of wall, etc.).

Option 3: Extensive modifications to include removal of debris, hazardous materials, adjacent vegetation as necessary, and general clean-up of the area. Fill in foundation with granular fill and filter fabric and/or leave partial wall or foundation exposed for potential future interpretation. Some structures may need stabilization techniques, wall bracing and/or more extensive repair of remaining exposed structures (drain tile, masonry or grout caps of wall, etc.).

Option 4: Remove or fill-in foundation in entirety. Make note of location for potential future interpretation.

Option 5: Do nothing - complete avoidance in Phase I" (Amberg 2018:11.5).

Coney Island contains approximately thirty-three identified historic foundations and ruins that were designated with a field number during the Phase I cultural resources review in 2016. Some of these field designations also include associated debris piles and well/cistern features. These will need to be documented as part of the Historic Property and cleaned up according to guidelines in place through the State Historic Preservation Office and the Minnesota Department of Health. For the Phase One Improvement Plan, each historic ruin has been designated with a proposed treatment option and priority level and will be discussed in detail in the following sections. The main proposed trail alignment consists of an eight-foot-wide aggregate paved corridor at a depth of six inches. A proposed twelve-foot-wide minimum corridor will be cleared of vegetation for this trail, which can also be used as emergency access routes. Natural soil trails are also proposed to extend off of the main trail within minimum corridors of five feet cleared of vegetation. An eight-foot-wide aggregate trail system is proposed to be installed on the southwest corner of the island ("Amblard's Point"). As part of this trail, retaining walls are also proposed. Two vault restrooms with concrete pads are proposed to be installed on the southwest and south center portions of the island. A proposed boarding dock with an eight foot by eight-foot concrete pad will be located on the southwest end of the island along with a proposed alternate boarding dock location on the western end of the island. An eight foot by sixteen-foot concrete plank landing is proposed to be located on the south-central shore. Construction access points are proposed to be located on the southern shore of the island and will include a twelve foot by twenty-foot composite temporary ground protection mats, which will be removed upon completion of construction. Various environmental stabilizers are proposed to be utilized during construction including silt fencing, floating silt fencing, and erosion control. All areas that will be disturbed during construction activities are proposed to be restored using seed and blankets. Techniques are proposed to limit the amount of subsurface disturbance when possible and to document areas where cleanup and removal will take place. The trail alignment will be verified at the time of construction to allow for adjustments needed to further avoid impact to the Historic Property. The following sections will highlight the proposed plans in more detail.

The plans being evaluated at this time are at thirty percent completion and represent an initial proposed Phase One development of Coney Island. WSB, on behalf of Carver County Parks, is prepared to take the recommendations contained in this report and following agency review of this thirty percent plan set into consideration in order to appropriately address the proposed modifications within the listed Historic Property.

3.0 RESEARCH DESIGN

3.1 Objectives

The purpose of this Determination of Effects Study is to identify potential effects to the *National Register of Historic Places* Historic Property, Coney Island of the West (21CR0164/CR-WAT-001). Since any improvements will likely cause an effect to the Historic Property, the site was addressed based on adverse or no adverse categories. By comparing the project plans to the background research and cultural resource work previously completed on the island, Blondo Consulting was

able to recommend possible project alternatives to avoid, minimize, or mitigate effects to the Historic Property that are in addition to the measures already in place as part of the Phase One Improvement Plan.

3.2 Methodology

A Phase I cultural resources survey and a Phase II evaluation was completed in 2016 and 2017 on Coney Island of the West. Two periods of significance were identified and include a historic period between 1874 and 1950 and a prehistoric period reflecting a Terminal Woodland through Late Prehistoric (Plains Village) occupation. These two periods were addressed separately during the analysis stage and will be discussed together as part of an expanded *National Register* eligible Historic Property. Coney Island of the West is considered a *National Register of Historic Places* listed site with multiple contributing elements. WSB has provided a thirty percent Phase One plan set that has been divided into ten map segments and each segment will be addressed individually for potential effects to the contributing elements. This will assist in developing an overall plan for preventing or minimizing adverse effects to the Historic Property. Recommendations will be provided to avoid, minimize, and/or mitigate any identified adverse effects to the historic and prehistoric contributing elements. A final site wide effects determination is provided in the concluding statement treating the island and all features as one site rather than a collection of individual elements.

3.3 Previous Cultural Resource Investigations

Coney Island of the West was originally inventoried as a historic architectural site CR-WAT-001 as part of the 1975 Statewide Historic Sites Survey. It was considered eligible for inclusion in the *National Register of Historic Places* at that time and included forty standing structures. Coney Island of the West was considered significant under Criterion A, for its contribution to the history of commerce, tourism and recreation. In 2015, Carver County Parks acquired the island through a Charitable Pledge and Donation Agreement with the Ann and Norman Hoffman Foundation and began developing plans for converting the island to public use and continue the tradition of tourism and recreation on the island (Carver County Parks 2016; Wolf and Blondo 2017).

As part of that conversion to public use, Carver County Parks retained Blondo Consulting, in consultation with Nienow Cultural Consultants, to complete a Phase I Cultural Resource Assessment of the island in October through November 2016. That assessment was followed by a Phase II Archaeological Evaluation of the island in May through June 2017. The Phase I Survey consisted of pedestrian survey and shovel testing on a 15-meter interval. Areas that included steep slopes, wetland, architectural remains, or thick vegetation were avoided during this survey. A total of 305 shovel tests were excavated across the entire island. This survey identified a previously unrecorded prehistoric archaeological component, therefore an additional Phase II Evaluation was recommended to further categorize site 21CR0164 (Blondo et al 2017). To guide the Phase II Evaluation, the island was divided into six arbitrary “clusters” to assist in management and Test Unit placement during the Phase II excavations. During this evaluation, eighteen test

units and forty-eight additional shovel tests were placed, recovering historic and prehistoric cultural material (Blondo and Wolf 2017).

Through these cultural resource investigations, a significant prehistoric subsurface component was identified on Coney Island. Blondo Consulting recommended the *National Register* listing be updated to include a multi-component archaeological site that includes both a Terminal Woodland to Late Prehistoric (Plains Village) component and a Historic 1874 to 1950 component. These components are eligible under Criterion A and D and retain most of the seven aspects of integrity (Blondo and Wolf 2017; Wolf and Blondo 2017; Blondo and Wolf 2018).

3.4 National Register Criteria Discussion

Coney Island of the West has been previously evaluated by Blondo Consulting, and determined eligible for inclusion in the *National Register* under Criterion A and D. The Minnesota SHPO concurred with this determination in a letter from October 2017 (Blondo and Wolf 2017; Wolf and Blondo 2017; Blondo and Wolf 2018).

To evaluate the site, the *National Register Bulletin: Guidelines for Evaluating and Registering Archaeological Properties* by Barbara Little et al. was used in previous reports by Blondo Consulting and will be referred back to here. Little et al. defines an archaeological property as, “the place or places where the remnants of a past culture survive in a physical context that allows for the interpretation of these remains... The physical evidence, or archaeological remains, usually takes the form of artifacts... features... and ecological evidence... Archaeological properties may also include standing structures or intact buildings or structures that have a direct historical association with below-ground archaeological remains” (Little et al. 2000:7-9).

To be eligible for inclusion in the *National Register of Historic Places*, a site needs to meet one or more of the following Criteria:

- Criterion A: Historic Events and Broad Patterns of History
- Criterion B: Important Persons
- Criterion C: Design, Construction, and Work of a Master
- Criterion D: Potential to Yield Information

In addition, a Historic Property must also meet most of the seven aspects of integrity to convey significance. These include,

- Location: Archaeological sites “almost always have integrity of location” (Little et al 2000: 38).
- Design: “Elements of design include organization of space, proportion, scale, technology, ornamentation, and materials... integrity of design for archaeological sites most closely approximates intra-site artifact and feature patterning” (Little et al. 2000:39).

- Setting: “Setting includes elements such as topographic features, open-space, views, landscapes, vegetation, man-made features (e.g., paths, fences), and relationships between buildings and other features” (Little et al. 2000:40).
- Materials: For archaeological sites, “integrity of materials is usually described in terms of the presence of intrusive artifacts/features, the completeness of the artifact/feature assemblage, or the quality of artifact or feature preservation” (Little et al. 2000: 40-41).
- Workmanship: Within archaeological sites, “workmanship usually is addressed indirectly in terms of the quality of the artifacts or architectural features. The skill needed to produce the artifact or construct the architectural feature is also an indication of workmanship. The importance of workmanship is dependent on the nature of the site and its research importance” (Little et al. 2000:41).
- Feeling: “A property has integrity of feeling if its features in combination with its setting convey a historic sense of the property during its period of significance” (Little et al. 2000:42).
- Association: A property must be able to convey the relationship of the event or activity to the location. For an archaeological site, “integrity of association is measured in terms of the strength of the relationship between the site’s data or information and the important research questions” (Little et al. 2000: 42).

Coney Island of the West is a multi-component archaeological site. As Little et al. explains, “A property with good archaeological integrity has archaeological deposits that are relatively intact and complete. The archaeological record at a site with such integrity has not been severely impacted by later cultural activities or natural processes” (Little et al. 2000:36). The Coney Island Historic Property continues to be eligible under Criterion A for two aspects. The first is for continuing to represent tourism and recreational history in Waconia and the greater Twin Cities and Minnesota regions. The second is for representing a prehistoric crossroads with a mixture of cultural influences developing within a unique set of environmental constraints. This Historic Property is also eligible under Criterion D for the potential to yield additional information on the history and prehistory of the area.

3.5 Assessment of Potential Effects

From the start of the Carver County Regional Park—Coney Island of the West development project, Carver County Parks have been good stewards for the island, developing the proposed plans in conjunction with the State Historic Preservation Office with the goal of continuing the tradition of tourism and recreation on the island. This follows Minnesota Statute 138, where Carver County Parks is required to submit the proposed project for review for potential effects prior to the development of the island. Minnesota State Statute 138.4 Subd. 3 “Review of Plans” states,

“When significant archaeological or historic sites are known, or based on scientific investigations, are predicted to exist on public lands or waters, the agency or department

controlling said lands or waters shall submit construction or development plans to the state archaeologist and the director of the society for review prior to the time bids are advertised. The state archaeologist and the society shall promptly review such plans and within 30 days of receiving the plans shall make recommendations for the preservation of archaeological or historic sites which may be endangered by construction or development activities. When archaeological or historic sites are related to Indian history or religion, the state archaeologist shall submit the plans to the Indian Affairs Council for the council's review and recommend action."

A state historic site or archaeological site is defined under Minnesota State Statute 138.31 as "a land or water area, owned or leased by or subject to the paramount right of the state, county, township, or municipality where there are objects or other evidence of archaeological interest. The term includes all aboriginal mounds and earthworks, ancient burial grounds, prehistoric ruins, historical remains, and other archaeological features on state land or on land subject to the paramount rights of the state." Under this same law, counties in Minnesota are authorized to acquire land within the county that contain a site with historical and/or archaeological significance, "and whose acquisition and maintenance are approved by the Minnesota Historical Society and to aid in the construction of markers on such lands" (Minnesota State Statute 138.586). Once these lands are under county or state ownership, under Minnesota State Statute 138.665 Subdivision 2, the county has the, "responsibility to protect the physical features and historic character of properties designated in section 138.662 and 138.664 or listed on the National Register of Historic Places created by Public Law 89-665." Under this law, counties are required to consult with the State Historic Preservation Office, "pursuant to the society's established procedures to determine appropriate treatments and to seek ways to avoid and mitigate any adverse effects on designated or listed properties. If the state department or agency and the State Historic Preservation Office agree in writing on a suitable course of action, the project may proceed." To date, the Minnesota State Historic Preservation Office has been supportive of the work Carver County Parks has completed. The recommendations contained in this report are a continuation of the work that has been completed to further assist Carver Counties Parks in opening up the island for the enjoyment of the public, and to enhance and preserve the history of Coney Island.

Established procedures for determining effects to Historic Properties are typically based on the National Historic Preservation Act. Under Section 106 of this act, federal agencies must consider potential effects an undertaking may have on historic properties. According to the definition given in 36 CFR § 800 an effect is an "alteration to the characteristics of a historic property qualifying it for inclusion in or eligibility for the National Register" (§ 800.16). It also describes,

"An adverse effect is found when an undertaking may alter, directly or indirectly, any of the characteristics of a historic property that qualify the property for inclusion in the National Register in a manner that would diminish the integrity of the property's location, design, setting, materials, workmanship, feeling, or association. Consideration shall be given to all qualifying characteristics of a historic property, including those that may have

been identified subsequent to the original evaluation of the property's eligibility for the National Register. Adverse effects may include reasonably foreseeable effects caused by the undertaking that may occur later in time, be farther removed in distance or be cumulative" (§ 800.5 (a)(1)).

According to the law, examples of adverse effects may include,

- i "Physical destruction of or damage to all or part of the property;
- ii Alteration of a property, including restoration, rehabilitation, repair, maintenance, stabilization, hazardous material remediation and provision of handicapped access, that is not consistent with the Secretary's Standards for the Treatment of Historic Properties (36 CFR part 68) and applicable guidelines;
- iii Removal of the property from its historic location;
- iv Change of the character of the property's use or of physical features within the property's setting that contribute to its historic significance;
- v Introduction of visual, atmospheric, or audible elements that diminish the integrity of the property's significant historic features;
- vi Neglect of a property which causes its deterioration, except where such neglect and deterioration are recognized qualities of a property of religious and cultural significance to an Indian tribe or Native Hawaiian organization; and
- vii Transfer, lease, or sale of property of Federal ownership or control without adequately and legally enforceable restrictions or conditions to ensure long-term preservation of the property's historic significance" (36 CFR § 800.5 (2)).

This guidance from Minnesota State Statute 138 and Section 106, in combination with the *National Register Bulletin: Guidelines for Evaluating and Registering Archaeological Properties*, will assist with determining potential effects to the Coney Island of the West Historic Property, and to prevent continued adverse effects through the neglect the island has seen prior to the ownership by Carver County Parks.

Maintaining most of the seven aspects of integrity are what continues to make Coney Island of the West eligible for the *National Register*. This is demonstrated through archaeological testing that has been completed on the island, confirming stratigraphic divisions between modern, historic, and prehistoric artifact assemblages. Prehistoric use of the site within the natural environment is present and historic use of the site as a vacation destination continued the tradition of being in touch with nature and the seasonal use of the island. The feeling and association with the periods of significance on the island are both present. Prehistoric and historic features are present and complements the topographic features (for example the large rise in the center of the island and location of the historic hotel). Open space views of the island are limited but 100-year old vegetation and the design and workmanship of manmade features (for example Amblard's gardens) are still evident on the landscape. The association of the site with important prehistoric and historic artifacts and features confirm that the site has the potential to yield important information about our past. Research questions can be answered by the artifact

assemblage and identified features. As planned, some of the proposed park improvements will affect the materials of this Historic Property. The construction of a trail and other improvements in which earth moving activities are planned have the potential to affect the prehistoric archaeological record and the cleanup and alteration of the historic ruins.

Overall, the Proposed Phase One Improvements Plan will have an adverse effect on the Historic Property as a whole. Individual sections of the proposed plan have been highlighted in the following sections to better address these effects. Currently the island is abandoned and structures are in a state of disrepair. Despite “Private Property” and “No Trespassing” signs, vandalism and depositing of trash is common. Destruction of historic foundations to provide stone for makeshift fire pits, and other destructive acts are adversely affecting the Historic Property. Park development will increase visitors and traffic to the site, but will also bring awareness to the resource and give opportunities to discuss good stewardship practices. This report does not further discuss the current state of the island’s resources or potential challenges and benefits to increase visitors and traffic, but rather focuses on proposed Phase I Project Improvements.

4.0 RECOMMENDATIONS/DETERMINATION OF EFFECTS

For the purposes of fully illustrating the proposed project plans, WSB has divided up the island into ten sections labeled A through J. Areas depicted on maps A and E, will not be altered as part of the currently proposed project, therefore, they are not included here. The remaining maps will be used to illustrate potential effects to the contributing elements that make up the Coney Island of the West listed Historic Property within the Direct and Indirect APEs. Recommendations for next steps will follow the effects discussion. Figure I shows the placement of each section map. A map of these sections including Phase I and II cultural resource survey results is in Attachment I: Maps.

Figure 1: Coney Island Locator Map



WSB PROJECT NO. 011022400

SCALE AS SHOWN
 PLAN BY: BM
 CHECK BY: CCA

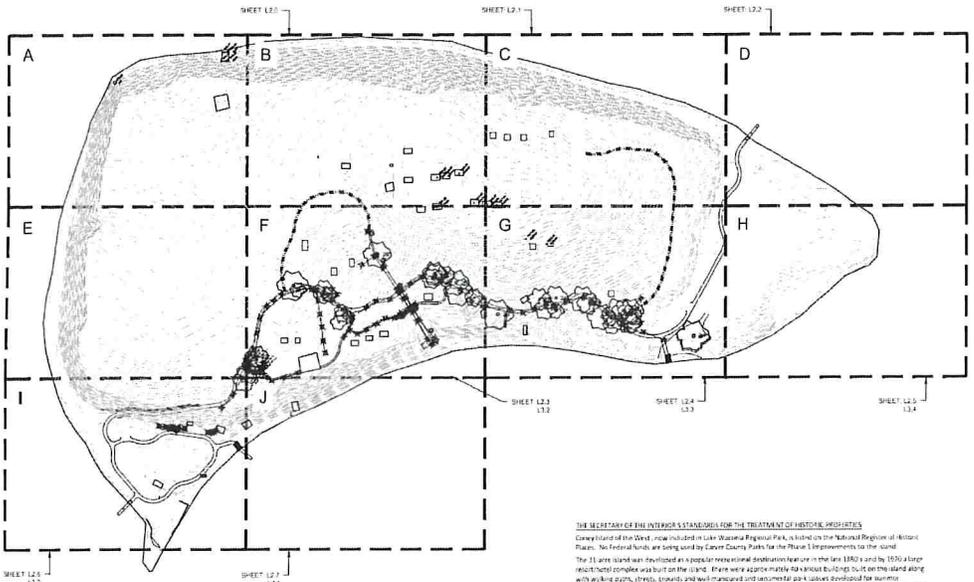
REVISIONS	DATE	BY	CHKD BY

OWNER: CARVER COUNTY
 PROJECT: CONEY ISLAND
 DRAWN: [Name]
 CHECKED: [Name]
 DATE: [Date]

CONEY ISLAND
 CARVER COUNTY

LOCATOR MAP

C.P. SHEET
 XXXXXXX L1.5



THE SECRETARY OF THE INTERIOR STANDARDS FOR THE TREATMENT OF HISTORIC STRUCTURES

Coney Island of the West, now included in Lake Wausau Regional Park, is listed on the National Register of Historic Places. No Federal funds are being used by Carver County Parks for the Phase 3 Improvements to the island. The 11-acre island was developed as a popular recreational destination for over a century. In the late 1800s, early 1900s there were electric trolleys and a street car line. There were approximately 40 various buildings built on the island along with walking paths, streets, grounds and well-manicured and ornamental gardens developed for summer recreational use. Subsequently, when the island was sold to Carver County and built into a park, the island was used for summer recreation purposes. Over time most of the island was left abandoned with few remaining structures. Some informal camping sites were established on the island, which also helped to keep the island and there was a lot of overgrowth and destruction mostly by brushcutters that caused severe damage. Eventually all of the old structures were purchased by Northwestern, who then donated the island to Carver County Parks on the basis that it would remain a quiet area for the completed and lake related recreation. A master plan was prepared for Lake Wausau Regional Park, including Coney Island of the West, which created a vision for improving the island into a safe and unique recreational feature that highlighted its historic past. As part of the process of restoring Coney Island to its original park, Carver County Parks had cultural studies prepared of the island to identify and make note of items found on the island and their location, along with its historical studies to identify these conditions in terms of structural characteristics. The archaeological and structural reports, along with the approved master plan, shaped the project to set in the Phase 3 Improvement Plan for Coney Island. The Phase 3 Improvement Plan identifies the location of the island and the structures for recreational use and also includes and development of a trail system along with day use recreational areas for picnic activities, all which are consistent with the master plan vision and goals for using public recreational use of the island. Through ongoing site evaluations, some of the actual structures have been shown in various types of highlights specific to interpretive purposes, some of which will be done in subsequent phases of improvements. Initial signage and highlighting some of the historic remains are meant to provide a guide into the island's rich past and encourage interpretive use and appreciation of historic elements that are to remain. Various applications and treatments of historic structures and elements are included in the Phase 3 Improvement Plan, which are identified on the plan.



- General Removals Note:**
 The Contractor shall be responsible for clearing and removal of all vegetation necessary to complete work as indicated on plans. This shall include trees, shrubs, brush, ground covers, etc. and shall include staking and removal of stumps for new work. Visible vegetation on the changes and to be removed in the work shall be removed in the same manner as the original work.
- Contractor shall meet with the Owner to determine extent of removal, in to ensure all vegetation to remain is protected throughout construction. The Owner reserves the right to make adjustments to the final location in order to save existing vegetation. The Contractor shall ensure methods to remove vegetation do not harm vegetation to remain.**
- Phase One Structural Options**
- Option 1:** Minimal modifications to include removal of debris, hazardous materials, adjacent vegetation as necessary, and general clean-up of the area. (Level foundation clear as is or undertake minimal stabilization techniques for potential future interpretation.)
 - Option 2:** Moderate modifications to include removal of debris, hazardous materials, adjacent vegetation as necessary, and general clean-up of the area. (Full foundation with granular fill and fiber fabric used to level grade and foundation required for potential future interpretation. Some structures may need stabilization techniques and/or partial reconstruction of some structural elements (e.g., masonry or brick work, etc.).)
 - Option 3:** Extensive modifications to include removal of debris, hazardous materials, adjacent vegetation as necessary, and general clean-up of the area. (Full foundation with granular fill and fiber fabric used to level grade and foundation required for potential future interpretation. Some structures may need stabilization techniques, wall bracing and/or more extensive repair of remaining required masonry (e.g., masonry or brick work of walls, etc.).)
 - Option 4:** Removal of full foundation in entirety. Make note of location for potential future interpretation.
 - Option 5:** Do nothing - complete woodwork in place.

4.1 Map B

The area depicted in map B includes general selective clearing and removal of vegetation, which is proposed to be cut clean at the ground surface to minimize subsurface disturbance within the area of “Naegele’s Park.” This will create a landscape that is reflective of that seen historically. Interpretation that is proposed for future phases will include descriptions of the park and hotel area, and the integration of the names of German authors that were used in the original street names (see Attachment I: Maps for a historic plat map). The following table includes the historic ruin features that are present in this area and the proposed treatment option for each. A portion of a proposed trail will include a cleared twelve-foot minimum corridor and consist of an eight-foot-wide standard aggregate paved trail with a six-inch depth. The vegetation clearing that will take place for this proposed trail alignment involves stump grubbing or removal. The alignment of the trail will be verified at the time of construction to ensure minimal disturbance to the Historic Property will take place.

Results of the Phase I archaeological survey showed most of this area to be negative for subsurface cultural material. This portion of the Historic Property maintains integrity of location, design, setting, materials, feeling, and association through the historic patterning of man-made features representing the historic use as a recreational destination; the layout of the island and major elements of the 1884 platted Coney Island of the West Townsite are present and easily recognizable in “Naegele’s Park.” The removal of the Orth Boathouse (M) will create an adverse effect to this contributing element, however, that effect can be mitigated through additional documentation prior to and during the demolition along with interpretation of the area. Overall, the proposed project plans will have no adverse effect to the Direct APE in this portion of the island, and no adverse effect to the Indirect (Visual) APE. The proposed vegetation clearing will make the historic landscape more evident and the proposed protection of the existing historic features through the use of fencing will help to avoid adverse effects. Figure 2 shows the proposed project plans and Figure 3 shows those plans along with the archaeological testing results.

Table I: Historic Ruins Map B			
Field Designation	Historic Name	Proposed Treatment Option	Effects Recommendation
I	Hotel Service Buildings	Option 1: Proposed removal of vegetation and debris. Leave fieldstone and masonry as encountered. Block off access if necessary with fencing. These features are low priority.	No adverse effect
J	Main Hotel	Option 2 or 3: Proposed removal of vegetation and debris. Bracing of walls or removal to a lower height for increased stability. Block off access if necessary with fencing. Proposed future overlook and interpretive display as part of next phases. These features are low to medium priority based on the modifications needed.	No adverse effect

Table 1: Historic Ruins Map B			
Field Designation	Historic Name	Proposed Treatment Option	Effects Recommendation
K	Hotel Laundry	Option 1: Proposed removal of vegetation and debris. Leave fieldstone and masonry as encountered. Block off access if necessary with fencing.	No adverse effect
L	Orth Cabin	Option 2 or 3: Proposed removal of vegetation and debris. Chimney and above ground foundations walls will be reduced to 18 to 24 inches to stabilize, or 8 inches if not stable. Grout top of walls as necessary to keep water out of materials. Well and hand pump to be removed. Some materials may be salvaged to be used elsewhere. This feature is medium priority.	No adverse effect
M	Orth Boathouse	Option 4: Proposed removal of the majority of the boathouse for safety. This feature is high priority for improving safety.	Adverse Effect- can be mitigated through documentation and interpretation.
S	Hotel Cabins	Option 1: Proposed removal of vegetation and debris. Block off access if necessary with fencing. These features are low priority.	No adverse effect

Figure 2: Map Enlargement B



WSB PROJECT NO
011892-000

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AS SHOWN DCA
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BAK CCA

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CHECKED BY: C. HARRIS

CONEY ISLAND
CARVER COUNTY

EXISTING
CONDITIONS,
STRUCTURES &
REMOVALS
ENLARGEMENT B

C/P SHEET
XXXXXXX 2.0

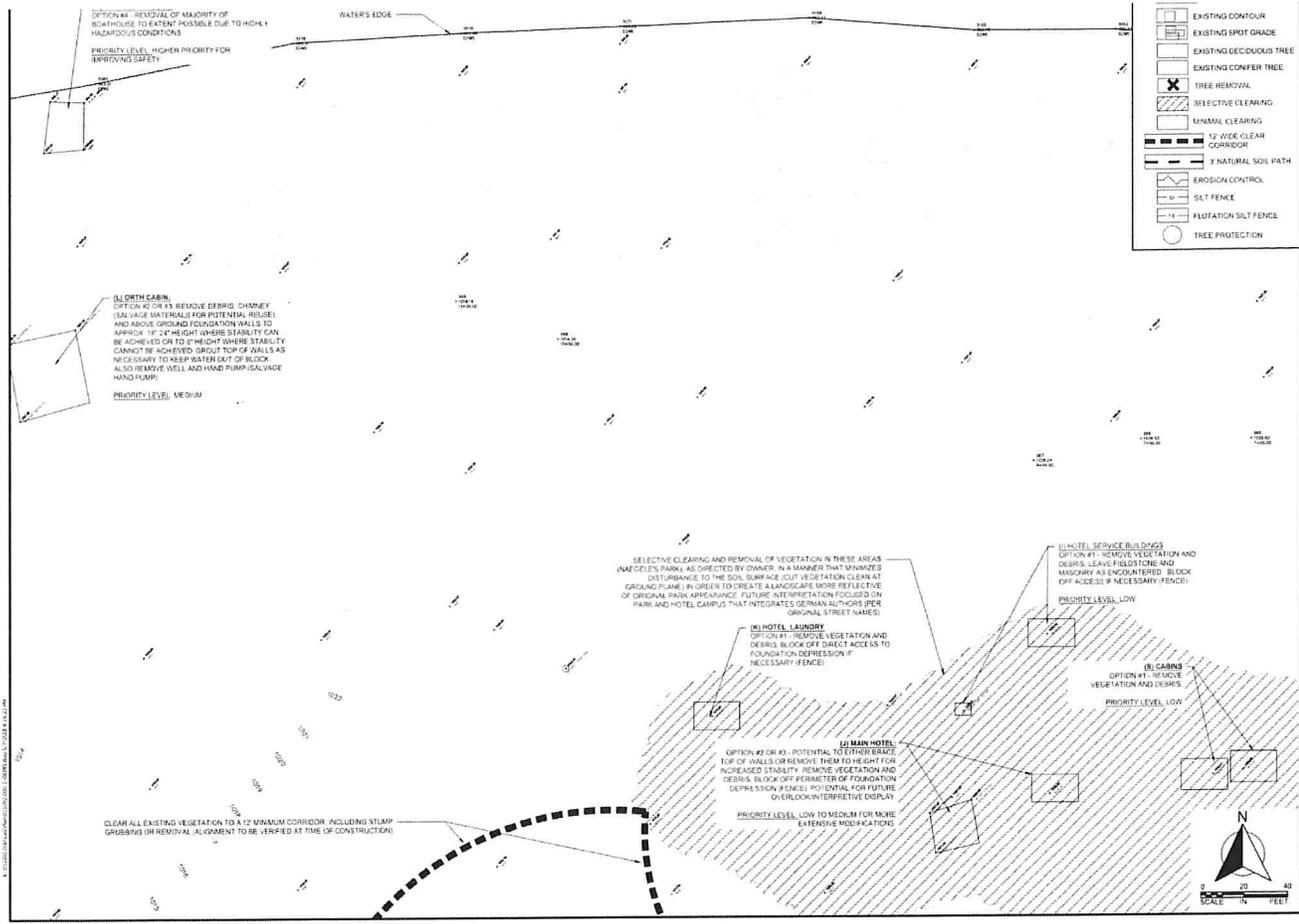
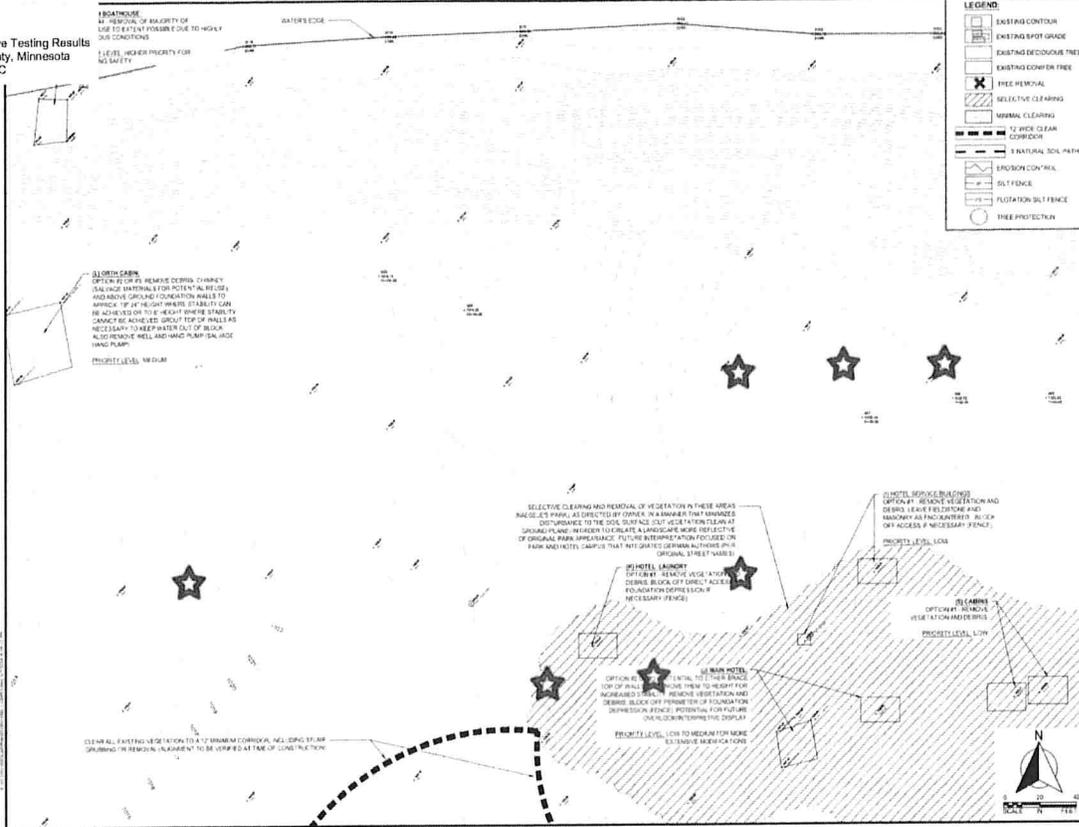


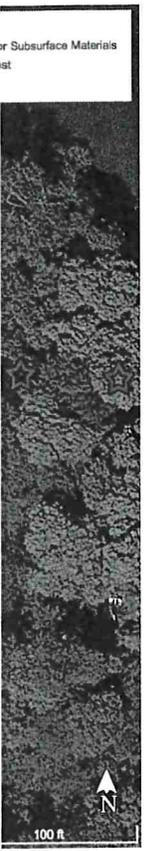
Figure 3: Map B with Archaeological Testing Results

Map B
30% Plans with Positive Testing Results
Waconia, Carver County, Minnesota
Blondo Consulting, LLC



TU 2

Google Earth



4.2 Map C

The area depicted in map C includes general selective clearing and removal of vegetation, which is proposed to be cut clean at the ground surface to minimize subsurface disturbance within the area of “Naegele’s Park.” This will create a landscape that is reflective of that seen historically. Interpretation that is proposed for future phases will include descriptions of the park and hotel area, and the integration of the names of German authors that were used in the original street names (see Attachment I: Maps for a historic plat map). The following table includes the historic ruin features that are present in this area and the proposed treatment option for each. A portion of a proposed trail will include a cleared twelve-foot minimum corridor and consist of an eight-foot-wide standard aggregate paved trail with a six-inch depth. The vegetation clearing that will take place for this proposed trail alignment involves stump grubbing or removal. The proposed trail alignment on this map is located within the northern portion of the Archaeological Phase II Cluster 5 testing area where Test Units 9 and 10 are located.

Results of the Phase I and II archaeological survey and evaluation showed some of this area to be positive for subsurface cultural material. This portion of the Historic Property maintains integrity of location, design, setting, materials, feeling, and association through the historic patterning of man-made features representing the historic use as a recreational destination; the layout of the island and major elements of the 1884 platted Coney Island of the West Townsite are present and easily recognizable in “Naegele’s Park.” Through the results of the Phase I and II archaeological testing, portions of the proposed trail alignment on this map will have an adverse effect to subsurface features within the Direct APE of the Coney Island Historic Property. It is recommended that the proposed trail alignment be adjusted to avoid some of these areas. If adjustments are not possible, then additional archaeological work is recommended prior to construction. The proposed improvements on this map will have no adverse effect to the Indirect (Visual) APE. The proposed vegetation clearing will make the historic landscape more evident, and the proposed protection of the existing historic features through the use of fencing will help to avoid adverse effects to those contributing features. Figure 4 shows the proposed project plans and Figure 5 shows those plans along with the archaeological testing results and the portion of the proposed trail alignment that may adversely affect subsurface material highlighted.

Field Designation	Historic Name	Proposed Treatment Option	Effects Recommendation
H	Hotel Cabins	Option I: Proposed removal of vegetation and debris. Block off access if necessary with fencing. These features are low priority and mostly extant.	No adverse effect
O	Hotel Cabins	Option I: Proposed removal of vegetation and debris. Block off access if necessary with fencing. These features are low priority.	No adverse effect

Table 2: Historic Ruins Map C			
Field Designation	Historic Name	Proposed Treatment Option	Effects Recommendation
P	Hotel Cabin	Option 1: Proposed removal of vegetation and debris. Block off access if necessary with fencing. These features are low priority.	No adverse effect
S	Hotel Cabins	Option 1: Proposed removal of vegetation and debris. Block off access if necessary with fencing. These features are low priority.	No adverse effect

Figure 4: Map Enlargement C



WSB PROJECT NO
011052-009

SCALE AS SHOWN
DESIGN BY CCA
PLAN BY BAK
CHECK BY CCA

NO.	DATE	DESCRIPTION

DESIGNED BY: BAK
 CHECKED BY: CCA
 DATE: 11/15/19

CONEY ISLAND
 CARVER COUNTY

EXISTING
 CONDITIONS,
 STRUCTURES &
 REMOVALS
 ENLARGEMENT C

C.P SHEET
 XXXXXXX L2.1

- EXISTING CONTOUR
- EXISTING SPOT GRADE
- EXISTING DECIDUOUS TREE
- EXISTING CONIFER TREE
- TREE REMOVAL
- SELECTIVE CLEARING
- MINIMAL CLEARING
- 12' WIDE CLEAR CORRIDOR
- 2' NATURAL SOIL PATH
- EROSION CONTROL
- SILT FENCE
- FLOTATION SILT FENCE
- TREE PROTECTION

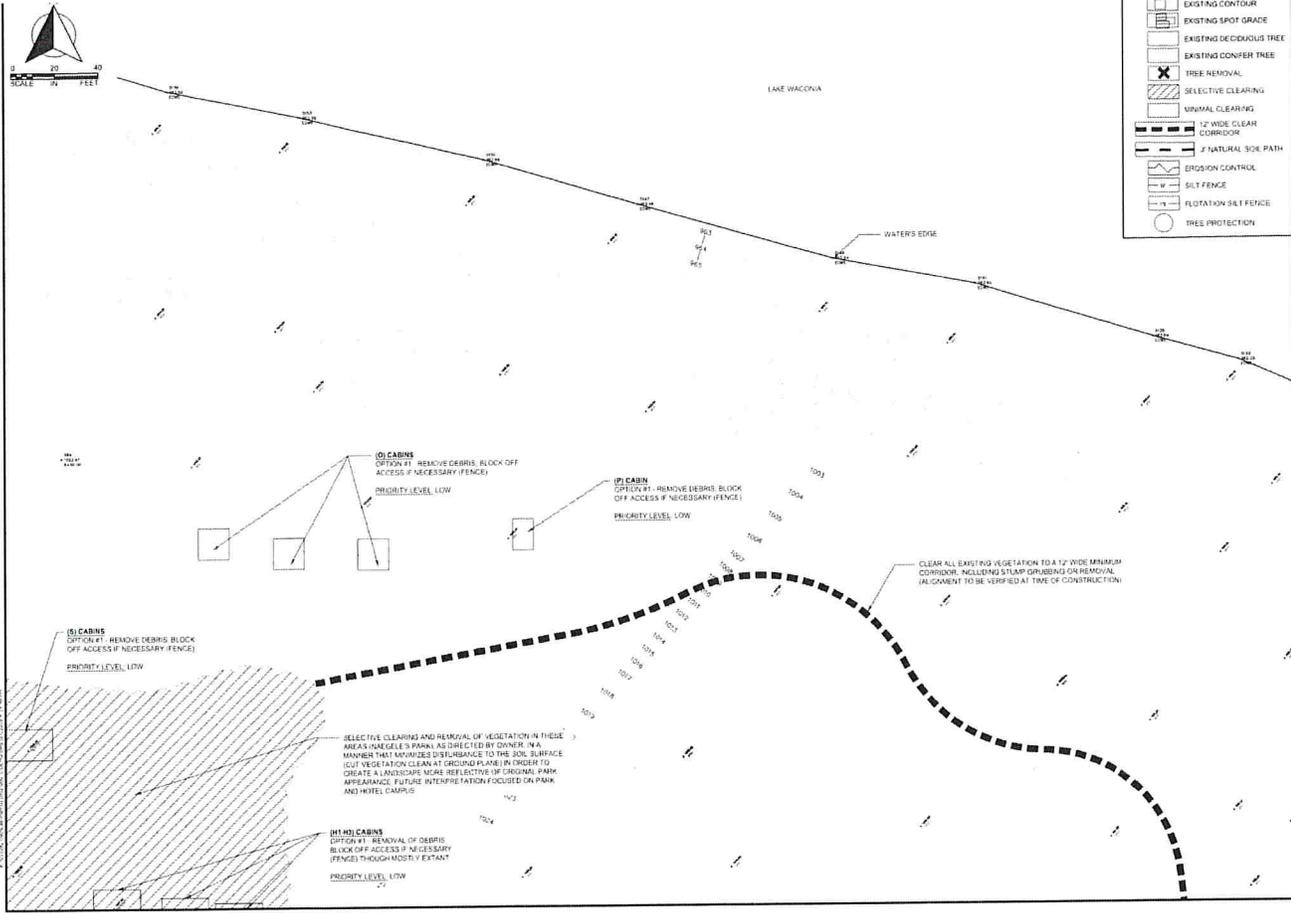


Figure 5: Map C with Archaeological Testing Results

4.3 Map D

The area depicted in map D includes general selective clearing and removal of vegetation, which will include stump grubbing and removal within the “Historic Lawn and Ballpark” area. Some select mature trees will be left undisturbed. This area includes historic feature T: Park and Ballfield. A portion of a proposed trail through this area will include a cleared twelve-foot minimum corridor and consist of an eight-foot trail of standard aggregate pavement with a six-inch depth. The vegetation clearing that will take place for this portion of the proposed trail alignment involves stump grubbing or removal. The proposed trail alignment on this map is located within the northern portion of the Archaeological Phase II Cluster 6 testing area.

This portion of the Historic Property maintains integrity of location, design, setting, materials, workmanship, feeling, and association through the historic patterning of man-made features representing the historic use as a recreational destination; the layout of the island and major elements of the 1884 platted Coney Island of the West Townsite are present and easily recognizable in the “Historic Lawn and Ballpark” area. Integrity is seen through prehistoric and historic patterning found in features and diagnostic artifacts recovered from this area and through 100-year old vegetation and manmade features, which are still evident on the landscape. Phase I archaeological testing in this area resulted positive shovel tests for historic cultural materials only. Prehistoric artifacts and features were not encountered. Therefore, the proposed plans depicted on Map D will have no adverse effect to the Direct APE.

The proposed improvements on this map will have no adverse effect to the Indirect (Visual) APE. The proposed vegetation clearing will make the historic landscape more evident. Figure 6 shows the proposed project plans and Figure 7 shows those plans along with the archaeological testing results.

Figure 6: Map Enlargement D



WSB PROJECT NO
011092-000

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DATE: 11/11/11 PROJECT NO: 011092-000

CONEY ISLAND
CARVER COUNTY

EXISTING
CONDITIONS,
STRUCTURES &
REMOVALS
ENLARGEMENT D

C.P. SHEET
XXXXXXX L2.2

- EXISTING CONTOUR
- EXISTING SPOT GRADE
- EXISTING DECIDUOUS TREE
- EXISTING CONIFER TREE
- TREE REMOVAL
- SELECTIVE CLEARING
- MINIMAL CLEARING
- 12' WIDE CLEAR CORRIDOR
- 3' NATURAL SOIL PATH
- EROSION CONTROL
- SILT FENCE
- FLOTATION SILT FENCE
- TREE PROTECTION

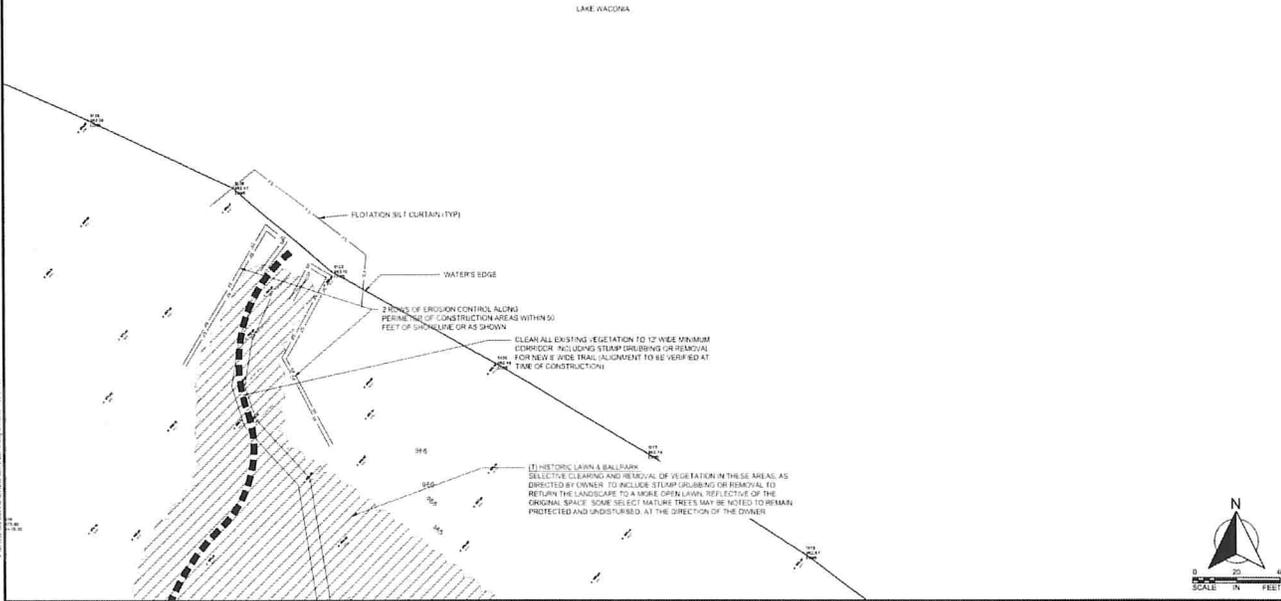


Figure 7: Map D with Archaeological Testing Results

4.4 Map F

The area depicted in maps F includes some general selective clearing and removal of vegetation, which is proposed to be cut clean at the ground surface to minimize subsurface disturbance in the “Naegele’s Park” area and along both sides of the existing concrete roadway. The proposed plans describe this walkway as being left in place with selective vegetation clearing and removal along both sides up to approximately eight to twelve feet. This clearing and removal is proposed to be cut clean at the ground surface to minimize subsurface disturbance. Areas surrounding the concrete walk will be stabilized using boulders, rip-rap, or filling in with erosion control seed and blanket where there is existing erosion issues and the existing light poles will be left in place. A natural stone retaining wall is proposed to be used to stabilize a portion of the trail that crosses the existing concrete roadway. This will create a landscape that is reflective of that seen historically. Interpretation that is proposed for future phases will include descriptions and historic photographs of the park, hotel, and roadways, and the integration of the names of German authors that were used in the original street names (see Attachment I: Maps for a historic plat map).

Within the “Hirschfield Gardens” area, select vegetation removal will involve the clean-up of invasive plant species and overstory trees. Existing fencing will be left in place and the ornamental garden plants present may be used for future site interpretation. The following table includes the historic ruin features that are present in this area and the proposed treatment option for each. Multiple segments of trail are proposed for this area and can be divided into two types. Vegetation clearing for both trail types will involve stump grubbing and removal. The first type of trail includes a cleared twelve-foot minimum corridor and consist of an eight-foot-wide standard aggregate pavement path with a six-inch depth. A second type of trail will extend south from the first type of trail and consist of a five-foot minimum cleared corridor with a three-foot-wide natural soil path. The proposed trail alignment on this map exists within Archaeological Phase II Clusters 2 and 4 testing areas and will run to the west of Test Unit 6, to the north and south of Test Unit 5 and to the north of Test Unit 17.

This portion of the Historic Property maintains integrity of location, design, setting, materials, workmanship, feeling, and association through the historic patterning of man-made features representing the historic use as a recreational destination; the layout of the island and major elements of the 1884 platted Coney Island of the West Townsite are present and easily recognizable in the “Naegele’s Park” and “Hirschfield Gardens” areas. Integrity is seen through prehistoric and historic patterning found in features and diagnostic artifacts recovered during Phase I and II archaeological survey and evaluation, and observed in this area and through 100-year old vegetation and manmade features, which are still evident on the landscape. Portions of this proposed trail alignment will have an adverse effect to subsurface features within the Direct APE. It is recommended that the proposed trail alignment be adjusted to avoid some of these areas. If adjustments are not possible, then additional archaeological work is recommended prior to construction. The proposed improvements on this map will also have an adverse effect to the Indirect (Visual) APE. Through the demolition of significant historic features such as the Hirschfield Cabin, the visual landscape will be altered. These adverse effects will be mitigated

through the thorough documentation of these features and through leaving portions of the foundations in place for interpretation of the historic landscape. The proposed vegetation clearing will make the historic landscape more evident, along with the interpretation and proposed protection of the remaining historic features through the use of fencing will help to minimize adverse effects to those contributing features.

Figures 8 and 9 show the proposed project plans and Figure 10 shows those plans along with the archaeological testing results and the portions of the proposed trail alignment that may adversely affect subsurface material highlighted.

Field Designation	Historic Name	Proposed Treatment Option	Effects Recommendation
A1	Hirschfield Cabin	Option 2 or 3: Proposed complete removal of the existing house frame and debris. Fill in foundation and leave portions of the foundation exposed for interpretation and development of an overlook ("Gartenlaube Overlook") during future phases. The brick chimney will potentially be removed to a height of 8 to 10 feet and stabilized. Brick from the chimney may be salvaged for other uses. The building and removal process will be documented. High priority.	Adverse Effect, can be mitigated through documentation and interpretation.
A2/A3	Hirschfield Privy/Storage Building and Barn/Garage	Option 4: Proposed complete removal and document. Medium to High priority.	Adverse Effect, can be mitigated through documentation and interpretation.
B	Hotel Cabins	Option 1: Proposed removal of vegetation and debris. Concrete slabs and walkways to be left in place. The buildings and removal process will be documented. These features are medium to high priority.	Adverse Effect, can be mitigated through documentation and interpretation.
C	Lindner Cabin	Option 2: Proposed removal of debris. Fill in foundation to a height of 24 inches or less for interpretation during future phases. Grout/mortar a top cap along the exposed walls. High priority.	Adverse Effect, can be mitigated through documentation and interpretation.
G	Hotel Dining Hall (G1) and Hotel Pavilion (G2)	Option 1: Proposed removal of vegetation and debris around the concrete slabs. Block off access if necessary with fencing. These features are low priority.	No Adverse Effect
Q	Hotel Boarding House	Option 1: Proposed removal of vegetation and debris. Block off access if necessary with fencing. This feature is low priority.	No Adverse Effect

Table 3: Historic Ruins Map F			
Field Designation	Historic Name	Proposed Treatment Option	Effects Recommendation
U	Hotel Cabins	Option 1: Proposed removal of vegetation and debris. Block off access if necessary with fencing. These features are low priority.	No Adverse Effect

Figure 8: Map Enlargement F_I- Existing Conditions, Structures and Removals



WSB PROJECT NO
011092-000

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PLAN BY: BAK
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DATE: 11/11/2019
 DRAWN BY: CCA
 CHECKED BY: CCA
 PROJECT NO: 011092-000

CONEY ISLAND
CARVER COUNTY

EXISTING CONDITIONS, STRUCTURES & REMOVALS ENLARGEMENT F

C.P. SHEET
XXXXXXX L2.3

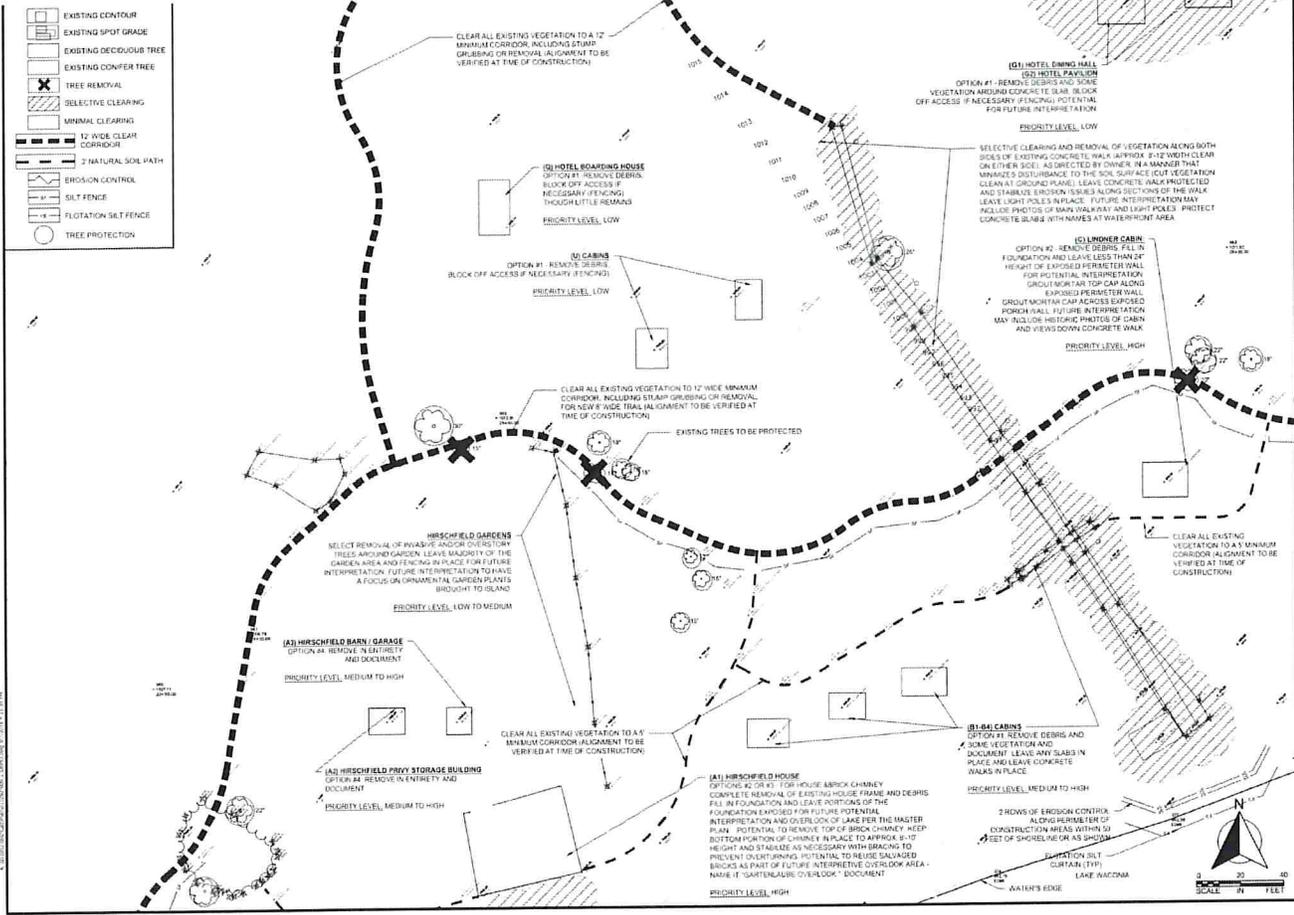


Figure 9: Map Enlargement F_2- Layout and Grading



WSB PROJECT NO
011092-000

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DESIGN BY: CCA
PLAN BY: BAK
CHECK BY: CCA

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NO. DATE DESCRIPTION

IN THE EVENT OF ANY DISCREPANCY BETWEEN THE INFORMATION CONTAINED HEREIN AND THE ORIGINAL RECORD DRAWINGS OR ANY OTHER DOCUMENTS, THE ORIGINAL RECORD DRAWINGS SHALL CONTROL. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ANY DATA USED IN THE PREPARATION OF THIS PLAN.

DATE: 11/11/2014 10:46 AM

CONEY ISLAND
CARVER COUNTY

LAYOUT & GRADING
ENLARGEMENT F

C.P. SHEET
XXXXXXX L3.2

- EXISTING CONTOUR
- EXISTING SPOT GRADE
- EXISTING DECIDUOUS TREE
- EXISTING CONIFER TREE
- 8' AGGREGATE TRAIL
- RETAINING WALLS
- PROPOSED CONTOUR
- 3' WIDE CLEARED PATH
- CONCRETE
- 3' x 4' FENCE
- FLOTATION SILT CURTAIN

RESTORATION NOTE
ALL DISTURBED AREAS TO BE
SEEDED AND PLANTED (1+)

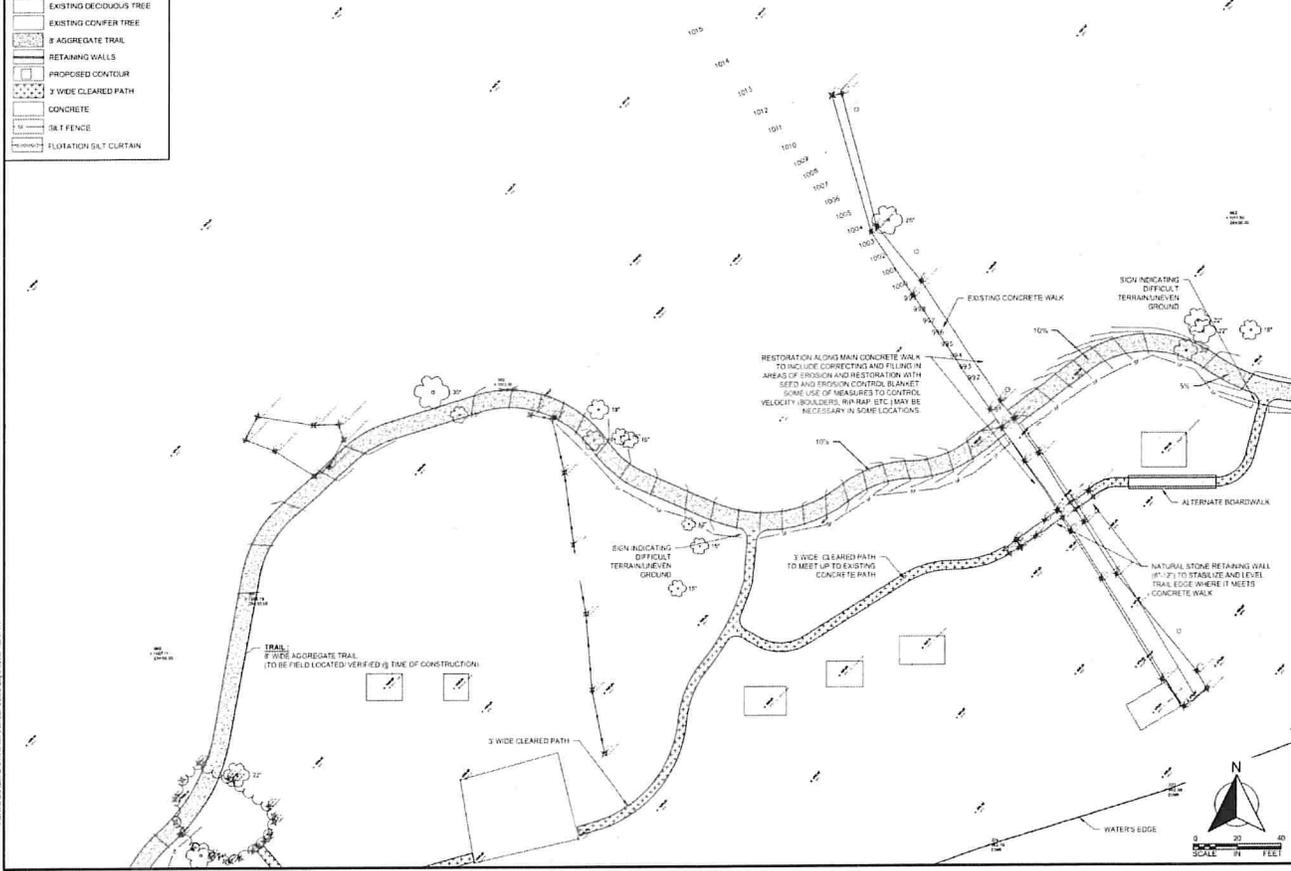
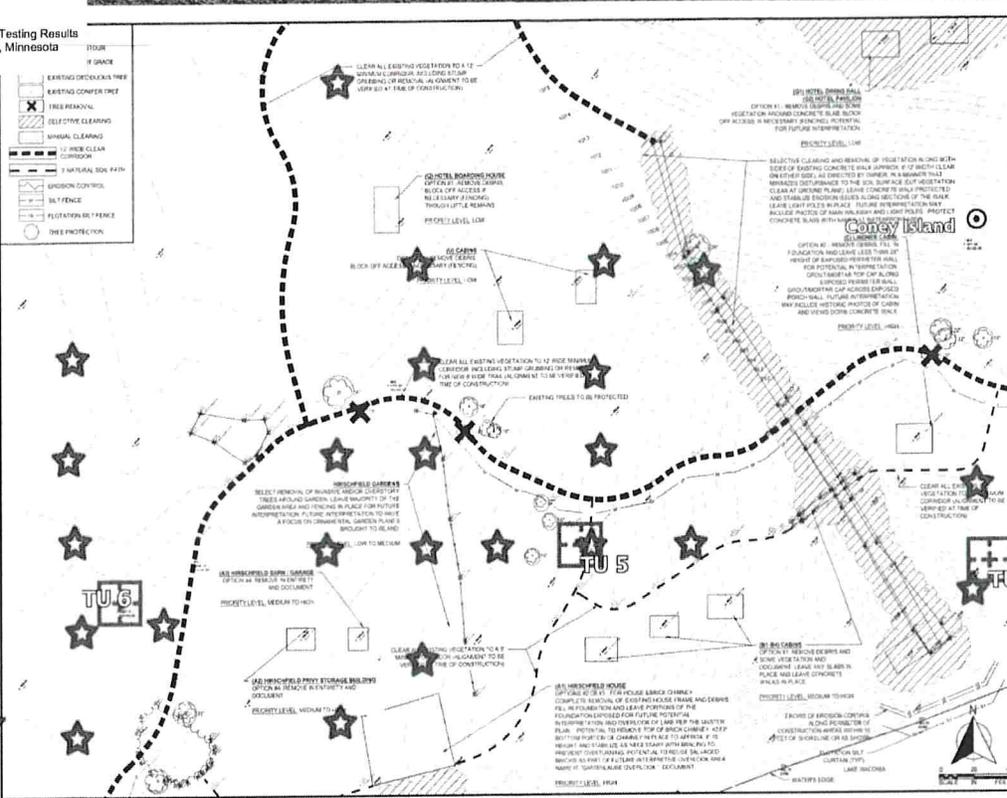


Figure 10: Map F_I with Archaeological Testing Results

Map F
30% Plans with Positive Testing Results
Waconia, Carver County, Minnesota
Blondo Consulting, LLC



Legend

- Area of Concern for Subsurface Materials
- Positive Shovel Test
- Test Unit

WS
WSP PROJECT NO: 011821-000

SCALE: AS SHOWN
DESIGN BY: CC
PLOT BY: BAK
DATE BY: 05/24

KEY ISLAND
CARVER COUNTY

EXISTING CONDITIONS, STRUCTURES & REMOVALS ENLARGEMENT F

C.P. SHEET
XXXXXX L2.3

100 ft

Google Earth

4.5 Map G

The area depicted in maps G includes some general selective clearing and removal of vegetation, which is proposed to be cut clean at the ground surface to minimize subsurface disturbance within the “Naegele’s Park” area and the Ballfield area. This will create a landscape that is reflective of that seen historically. The following table includes the historic ruin features that are present in this area and the proposed treatment option for each. Multiple segments of trail are proposed for this area. Vegetation clearing for these trail segments will involve stump grubbing and removal within a minimum twelve-foot corridor for an eight-foot-wide standard aggregate pavement path with a six-inch depth. A proposed construction access point will be located in this area and will include a temporary twelve foot by twenty-foot composite ground protection mat. This will be removed at the end of construction and replaced with an eight foot by sixteen-foot concrete plank landing. A vault restroom is also proposed to be located in this area, which is proposed to be designed using colors and materials that are compatible with the island’s natural characteristics. A portion of the proposed trail alignment on this map exists within Archaeological Phase II Clusters 4 and 6 testing areas and will run to the west of Test Unit 13 and north of Test Unit 17. Portions of this proposed trail alignment were not tested during the Phase I and II excavations due to extreme slope and intervening building ruins. The *SHPO Manual for Archaeological Projects in Minnesota*, advises, “In general, soils that are usually inundated or are located on slopes greater than 20 degrees, need not be examined by pedestrian survey or shovel testing” (Anfinson 2005:29). The trail is proposed to follow this slope, with new contours constructed for the trail at an eight to twelve percent grade.

This portion of the Historic Property maintains integrity of location, design, setting, materials, workmanship, feeling, and association through the historic patterning of man-made features representing the historic use as a recreational destination; the layout of the island and major elements of the 1884 platted Coney Island of the West Townsite are present and easily recognizable in the “Naegele’s Park” and the Ballfield areas. Integrity is also seen through prehistoric and historic patterning found in features and diagnostic artifacts recovered and observed in this area and through 100-year old vegetation and manmade features, which are still evident on the landscape.

Portions of this proposed trail alignment will have an adverse effect to subsurface features within the Direct APE. It is recommended that the proposed trail alignment be adjusted to avoid some of these areas. If adjustments are not possible, then additional archaeological work is recommended prior to construction. The proposed improvements on this map will have no adverse effect to the Indirect (Visual) APE. Through the removal and alterations of significant historic features, an adverse effect will take place to those contributing elements, however, that effect can be mitigated through additional documentation prior to and during the demolition along with interpretation of the area. The proposed vegetation clearing will make the historic landscape and features more evident, along with the interpretation and the proposed protection of the remaining historic features through the use of fencing will help to minimize adverse effects to those contributing features.

The proposed construction of the trail alignment along the steep slope and the planned future interpretation for the historic ruins will help to avoid and minimize adverse effects to historic and subsurface features. Figures 11 and 12 show the proposed project plans and Figure 13 shows those plans along with the archaeological testing results and the portions of the proposed trail alignment that may adversely affect subsurface material highlighted.

Field Designation	Historic Name	Proposed Treatment Option	Effects Recommendation
D1	Breuck Cabin	Option 2: Proposed Selective removal of vegetation and the removal of debris. The upper portions of the foundation wall will be removed to a height of 30 inches or less. A grout cap will be added to protect remaining foundation from water. Interpretation of these foundations will be part of future phases. This feature is medium to high priority.	Adverse Effect, can be mitigated through documentation and interpretation.
D2	Latz Cabin	Option 1: Proposed selective removal of surrounding vegetation and leave foundations in place with some debris removal. Interpretation of the Latz features will be part of future phases. This feature is medium to high priority.	No Adverse Effect
D3	Latz Boathouse	Option 2: Proposed selective removal of surrounding vegetation and debris removal. Portions of the boathouse walls may be removed to allow for greater stability and safety. The upper hill will be blocked off due to unsafe grade. Interpretation of the Latz features will be part of future phases. This feature is high priority.	No Adverse Effect
E	Cabin	Option 1: Proposed removal of vegetation and debris. Block off access if necessary with fencing. This feature is low to medium priority.	No Adverse Effect
F	Hotel Cabins	Option 4: Proposed complete removal and document. These features are low priority	Adverse Effect, can be mitigated through documentation and interpretation.
H	Hotel Cabins	Option 1: Proposed removal of vegetation and debris. Block off access if necessary with fencing. These features are low priority.	No Adverse Effect

Figure 11: Map Enlargement G_1- Existing Conditions, Structures and Removals



WSB PROJECT NO
011092-000

SCALE: AS SHOWN DESIGN BY: CCA
PLAN BY: BSM CHECK BY: SCA

NO.	DATE	DESCRIPTION

DATE: 11.14.14
 DRAWN BY: J. JENSEN
 CHECKED BY: S. CANNON
 PROJECT NO: 011092-000

CONEY ISLAND
CARVER COUNTY

EXISTING CONDITIONS, STRUCTURES & REMOVALS ENLARGEMENT G

C.P. SHEET
XXXXXXX L2.4

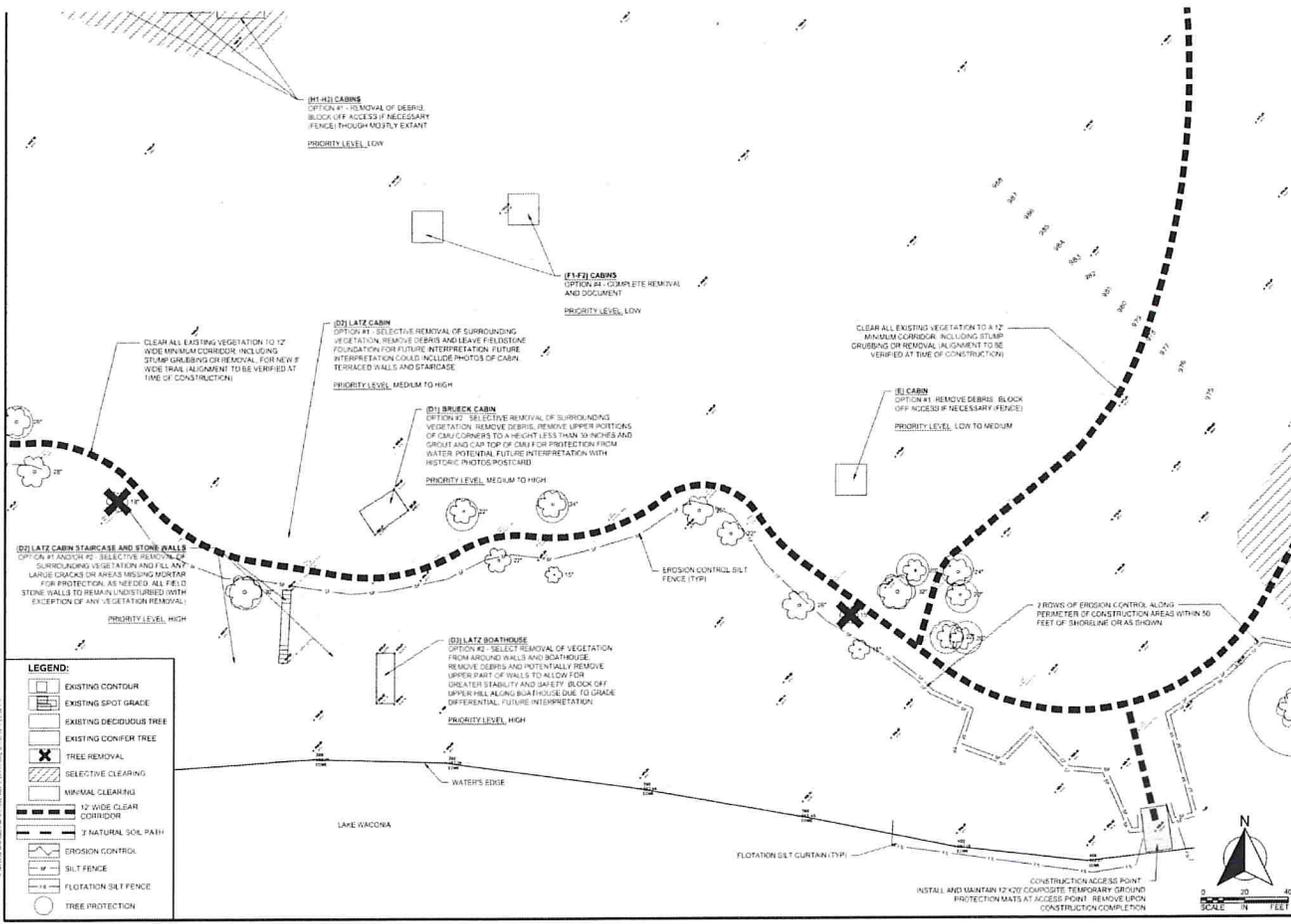


Figure 12: Map Enlargement G_2- Layout and Grading



WSB PROJECT NO
011092-000

SCALE: AS SHOWN
PLAN BY: BAK
DESIGN BY: CCA
CHECK BY: CCA

NO.	DATE	REVISIONS

FOR REFERENCE ONLY: THIS PLAN AND SPECIFICATIONS SHALL BE USED IN CONJUNCTION WITH THE LATEST REVISIONS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS OF THE STATE OF MINNESOTA.

DATE: 11/11/19
DRAWN BY: J. HANSEN
CHECKED BY: J. HANSEN
SCALE: AS SHOWN

CONEY ISLAND
CARVER COUNTY

LAYOUT & GRADING
ENLARGEMENT G

C/P SHEET
XXXXXXX L3.3

- EXISTING CONTOUR
- EXISTING SPOT GRADE
- EXISTING DECIDUOUS TREE
- EXISTING CONIFER TREE
- B AGGREGATE TRAIL
- RETAINING WALLS
- PROPOSED CONTOUR
- 2' WIDE CLEARED PATH
- CONCRETE
- SILT FENCE
- FLOTATION SILT CURTAIN

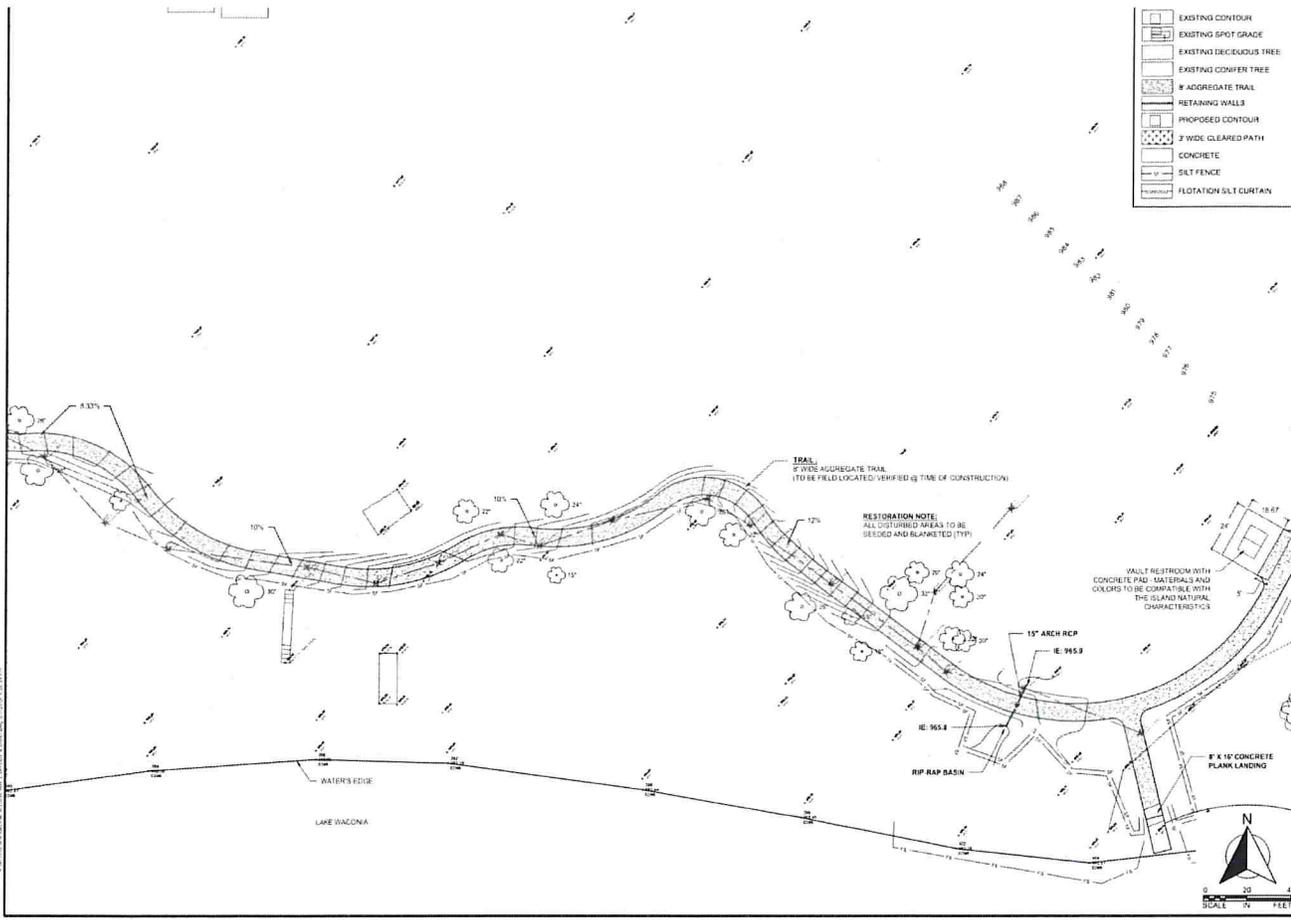


Figure 13: Map G_I with Archaeological Testing Results

4.6 Map H

The area depicted in map H includes general selective clearing and removal of vegetation, which will include stump grubbing and removal within the “Historic Lawn and Ballpark” area. Some select mature trees will be left undisturbed. This area includes historic feature T: Park and Ballfield. A portion of a proposed trail through this area will include a cleared twelve-foot minimum corridor and consist of an eight-foot trail of standard aggregate pavement with a six-inch depth. The vegetation clearing that will take place for this portion of the proposed trail alignment involves stump grubbing or removal. The proposed trail alignment on this map is located within the northern portion of the Archaeological Phase II Cluster 6 testing area and is proposed to travel to the west of Test Unit 12 and Test Unit 13 and to the east of Test Unit 11 and Test Unit 16.

This portion of the Historic Property maintains integrity of location, design, setting, materials, workmanship, feeling, and association through the historic patterning of man-made features representing the historic use as a recreational destination; the layout of the island and major elements of the 1884 platted Coney Island of the West Townsite are present and easily recognizable in the “Historic Lawn and Ballpark” area. Integrity is seen through prehistoric and historic patterning found in features and diagnostic artifacts recovered from this area and through 100-year old vegetation and manmade features, which are still evident on the landscape.

Phase I and II archaeological testing in this area resulted in much of the area having been disturbed during historic use with very little intact prehistoric cultural material recovered. The area around Test Units 11 and 16 is an exception and resulted in the identification of an intact prehistoric feature and diagnostic artifacts. Therefore, portions of this proposed trail alignment will have an adverse effect to subsurface features within the Direct APE. It is recommended that the proposed trail alignment be adjusted to avoid this area. If adjustments are not possible, then additional archaeological work is recommended prior to construction. The proposed improvements on this map will have no adverse effect to the Indirect (Visual) APE. The proposed vegetation clearing will make the historic landscape more evident.

Figures 14 and 15 show the proposed project plans and Figure 16 shows those plans along with the archaeological testing results and the portions of the proposed trail alignment that may adversely affect subsurface material highlighted.

Figure 14: Map Enlargement H_1- Existing Conditions, Structures and Removals



WSB PROJECT NO
811092-000

SCALE: AS SHOWN
DESIGN BY: CCA
PLAN BY: BAK
CHECK BY: DCA

- EXISTING CENTERLINE
- EXISTING SPOT GRADE
- EXISTING DECIDUOUS TREE
- EXISTING CONIFER TREE
- TREE REMOVAL
- SELECTIVE CLEARING
- MINIMAL CLEARING
- 12' WIDE CLEAR CORRIDOR
- 9' NATURAL SOIL PATH
- EROSION CONTROL
- SILT FENCE
- FLOTATION SILT FENCE
- TREE PROTECTION

REVISIONS	
NO.	DATE

REVISIONS

DATE: 11/14/19 11:42 AM

SCALE: 1"=40'

PROJECT NO: 811092-000

DATE: 11/14/19 11:42 AM

SCALE: 1"=40'

PROJECT NO: 811092-000

CONEY ISLAND
CARVER COUNTY

EXISTING
CONDITIONS,
STRUCTURES &
REMOVALS
ENLARGEMENT H

C.P. SHEET
XXXXXXXX L2.5

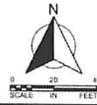
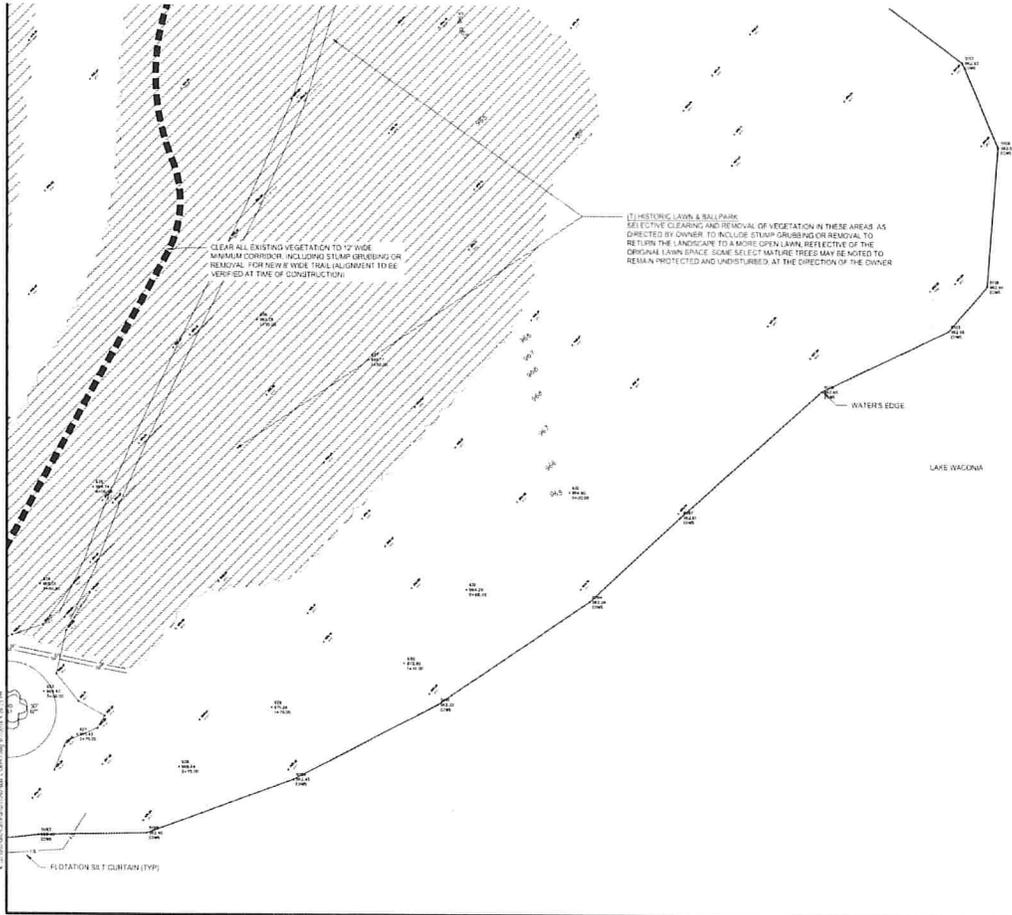


Figure 15: Map Enlargement H_2- Layout and Grading



WSB PROJECT NO
011992-000

SCALE: AS SHOWN
DESIGN BY: CCA
PLAN BY: CCA
CHECK BY: CCA

REVISIONS	
NO.	DATE

DATE: 11/13/2018
DRAWN BY: J. J. JENSEN
CHECKED BY: J. J. JENSEN
DATE: 11/13/2018
SCALE: 1" = 40'

CONEY ISLAND
CARVER COUNTY

LAYOUT & GRADING
ENLARGEMENT H

C.P. SHEET
XXXXXXXXX L3.4

- EXISTING CONTOUR
- EXISTING SPOT GRADE
- EXISTING DECIDUOUS TREE
- EXISTING CONIFER TREE
- 8' AGGREGATE TRAIL
- RETAINING WALLS
- PROPOSED CONTOUR
- 3' WIDE CLEARED PATH
- CONCRETE
- SALT FENCE
- SILTATION SILT CURTAIN

RESTORATION NOTE:
ALL DISTURBED AREAS TO BE
BEEDED AND BLANKETED (1 TP)

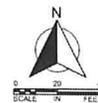


Figure 16: Map H_I with Archaeological Testing Results

4.7 Map I

The area depicted in maps I involves selective clearing and removal of vegetation across the entire “Amblard’s Point” to be more consistent with the historic landscape and creating open picnic spaces, lawns, and gardens. Undesired plant species will be removed and all historic material displaced by modern site users will be documented and removed to discourage future visitors from dismantling existing historic features. The following table includes the historic ruin features that are present in this area and the proposed treatment option for each. This area once contained intricate garden and landscape spaces created by Emile Amblard. Multiple segments of trail are proposed for this area and include cleared twelve-foot minimum corridors and consist of eight-foot-wide standard aggregate pavement paths with a six-inch depth. A portion of the trail will follow the steep slope and modular retaining walls will be utilized. The proposed retaining walls will consist of a natural stone color and appearance to be compatible with the island’s natural characteristics. These walls will help to minimize disturbance to the existing Historic Property, while allowing for a trail to be built down the steep slope. Creeping plants will be added to the walls to allow it to be less noticeable on the landscape. The trail grade along this slope will not exceed ten percent and will be cut into portions of the existing embankment to create a more stable surface. Cut and fill areas along this trail will range from approximately twelve feet deep to two feet high and will be constructed using a rolling grade technique. Proposed landscape restoration along this embankment will include turf reinforcement mat with native seed. A vault restroom is proposed to be located in this area using materials and colors to be compatible with the islands natural characteristics. An alternate eight foot by eight-foot concrete pad and boarding dock is also proposed for this area. This area is also proposed to include eight picnic tables, two grills, and three fire rings that will be located in areas that do not contain historic features.

A portion of the proposed trail alignment on this map exists within Archaeological Phase II Cluster I testing area, however, the archaeological results within this cluster show a mixed context and disturbance to the prehistoric component during the construction of historic period features. The portions of this proposed trail alignment that follow the embankment were not tested during the Phase I and II excavations due to extreme slope. The *SHPO Manual for Archaeological Projects in Minnesota*, advises, “In general, soils that are usually inundated or are located on slopes greater than 20 degrees, need not be examined by pedestrian survey or shovel testing” (Anfinson 2005:29). The trail is proposed to follow this slope, with new contours constructed for the trail at a maximum ten percent grade. The proposed trail alignment and picnic amenities are proposed to be located in areas that will minimize impacts to existing historic features.

This portion of the Historic Property maintains integrity of location, design, setting, materials, workmanship, feeling, and association through the historic patterning of man-made features representing the historic use as a recreational destination; the layout of the island and major elements of the 1884 platted Coney Island of the West Townsite are present and easily recognizable in the “Amblard’s Point” area. Integrity is also seen through historic patterning found in features and diagnostic artifacts recovered from this area and through 100-year old vegetation

and manmade features, which are still evident on the landscape. The proposed construction in the Amblard's point area will have an adverse effect to the Historic Property within the Direct APE and Indirect (Visual) APE.

It is recommended that the proposed trail alignment follow existing historic trails within "Amblard's Point" along with interpreting what the historic gardens once looked like. If trail alignments are unable to be altered to follow the existing historic trails, then additional mapping of the existing garden features within "Amblard's Point" is recommended prior to removal and finalizing the trail alignment in this area. It is proposed that the trail alignment within this area is to be verified at the time of construction along with the placement of new picnic tables, grills, and fire rings, which will assist in avoiding and minimizing adverse effects to historic features. Utilizing existing breaks in the sea wall for the proposed boarding dock would also assist in minimizing adverse effects to historic features. Restoring the landscape to create the feeling of the historic gardens, documenting changes, and interpreting historic features will help to avoid and minimize adverse effects to the historic component of this portion of the island. Figures 17 and 18 show the proposed project plans and Figure 19 shows those plans along with the archaeological testing results.

Field Designation	Historic Name	Proposed Treatment Option	Effects Recommendation
R1	Amblard Villas/Cabin	Option 2: Proposed removal of portions of foundation walls to a height of thirty inches or less exposed and infilling of foundations to blend with existing site grades. Rock landscape walls adjacent to foundations to remain undisturbed with interpretation of the area part of future phases. These features are high priority.	Adverse Effect, can be mitigated through documentation and interpretation.
R4	Concrete pad	Option 1: Proposed select removal of surrounding vegetation with the foundation to remain undisturbed for interpretation during future phases. This feature is medium to high priority.	No Adverse Effect
R5	Villa Emile	Option 1: Proposed selective removal of vegetation and debris. Portions of the feature identified as hazardous will be removed. Remaining foundations will be protected and interpreted in future phases. These features are high priority.	No Adverse Effect
R6	Sea Wall	Option 2 or 4 (depending on wall condition): Proposed select removal of vegetation and debris. Removal of some portions of wall with more significant damage, rotation, and deflection. Other portions will be protected using rip rap. Interpretation of these features will be included in future phases. These features are high priority.	Adverse Effect, can be mitigated through documentation and interpretation.

Table 5: Historic Ruins Map I			
Field Designation	Historic Name	Proposed Treatment Option	Effects Recommendation
—	Car	Option 4: Proposed removal and documentation. Potential for future interpretation.	No Adverse Effect

Figure 17: Map Enlargement I_1- Existing Conditions, Structures and Removals

Figure 18: Map Enlargement I_2- Layout and Grading



WSB PROJECT NO
011092-000

SCALE AS SHOWN
DESIGN BY CCA
PLAN BY BAK
CHECK BY CCA

NO.	DATE	DESCRIPTION

REVISIONS

DATE: 11/15/11
BY: BAK
DESCRIPTION: REVISIONS TO LAYOUT AND GRADING ENLARGEMENT I TO REFLECT THE LATEST STATE OF MARKET

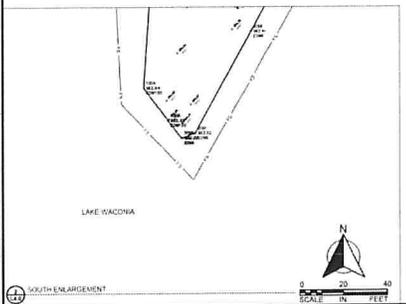
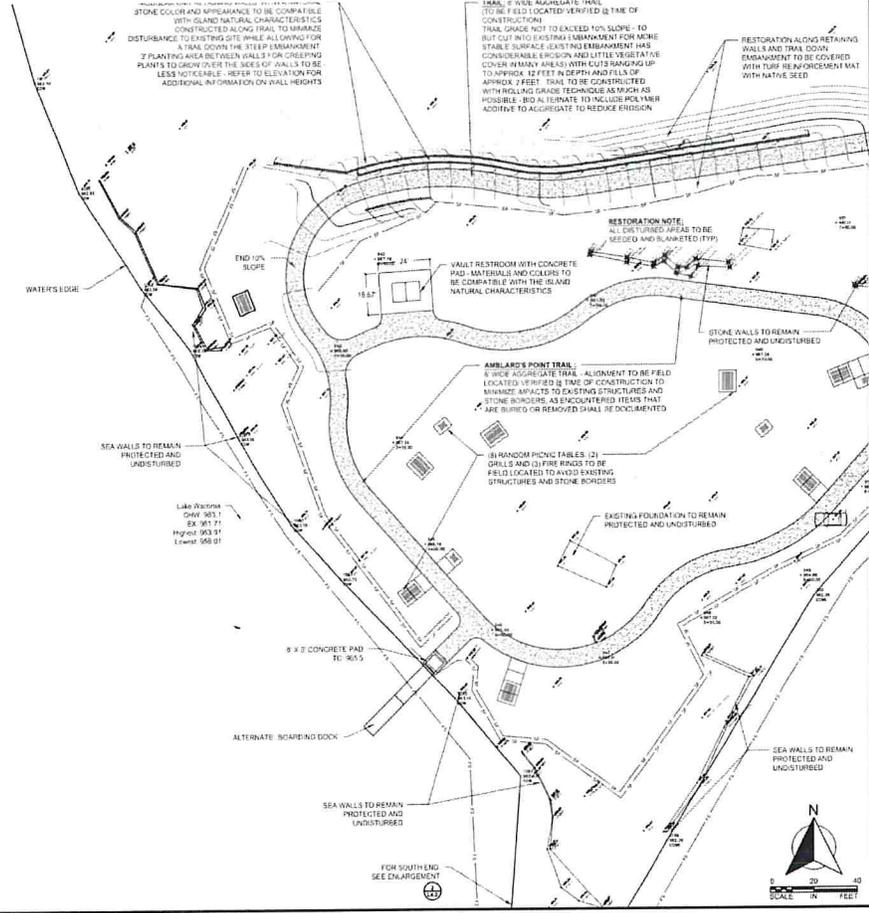
DATE: 11/15/11
BY: BAK
DESCRIPTION: REVISIONS TO LAYOUT AND GRADING ENLARGEMENT I TO REFLECT THE LATEST STATE OF MARKET

CONEY ISLAND
CARVER COUNTY

LAYOUT & GRADING
ENLARGEMENT I

C.P. SHEET
XXXXXXX L3.0

- EXISTING CONTOUR
- EXISTING SPOT GRADE
- EXISTING DECIDUOUS TREE
- EXISTING CONIFER TREE
- 8' AGGREGATE TRAIL
- RETAINING WALLS
- PROPOSED CONTOUR
- 3' WIDE CLEARED PATH
- CONCRETE
- SILT FENCE
- FLOTATION SILT CURTAIN



PROVIDE A 3' WIDE AGGREGATE TRAIL (TO BE FIELD LOCATED VERIFIED @ TIME OF CONSTRUCTION) TRAIL GRADE NOT TO EXCEED 10% SLOPE TO BUT CUT INTO EXISTING EMBANKMENT FOR MORE STABLE SURFACE - EXISTING EMBANKMENT HAS CONSIDERABLE EROSION AND LITTLE VEGETATION COVER (MAINLY ARBES) WITH CUTS RANGING UP TO APPROX. 12 FEET IN DEPTH AND FILLS OF APPROX. 2 FEET TRAIL TO BE CONSTRUCTED WITH ROLLING GRADE TECHNIQUE AS MUCH AS POSSIBLE - BID ALTERNATE TO INCLUDE POLYMER ADDITIVE TO AGGREGATE TO REDUCE EROSION

RESTORATION ALONG RETAINING WALLS AND TRAIL DOWN EMBANKMENT TO BE COVERED WITH TURF REINFORCEMENT MAT WITH NATIVE SEED

RESTORATION NOTE: ALL DISTURBED AREAS TO BE SEED AND MULCH (TYP)

AMBLAND'S POINT TRAIL: 8' WIDE AGGREGATE TRAIL - ALIGNMENT TO BE FIELD LOCATED, VERIFIED @ TIME OF CONSTRUCTION TO MINIMIZE IMPACTS TO EXISTING STRUCTURES AND STONE BORDERS. AS ENCOUNTERED ITEMS THAT ARE BURIED OR REMOVED SHALL BE DOCUMENTED

EXISTING FOUNDATION TO REMAIN PROTECTED AND UNDISTURBED

SEA WALLS TO REMAIN PROTECTED AND UNDISTURBED

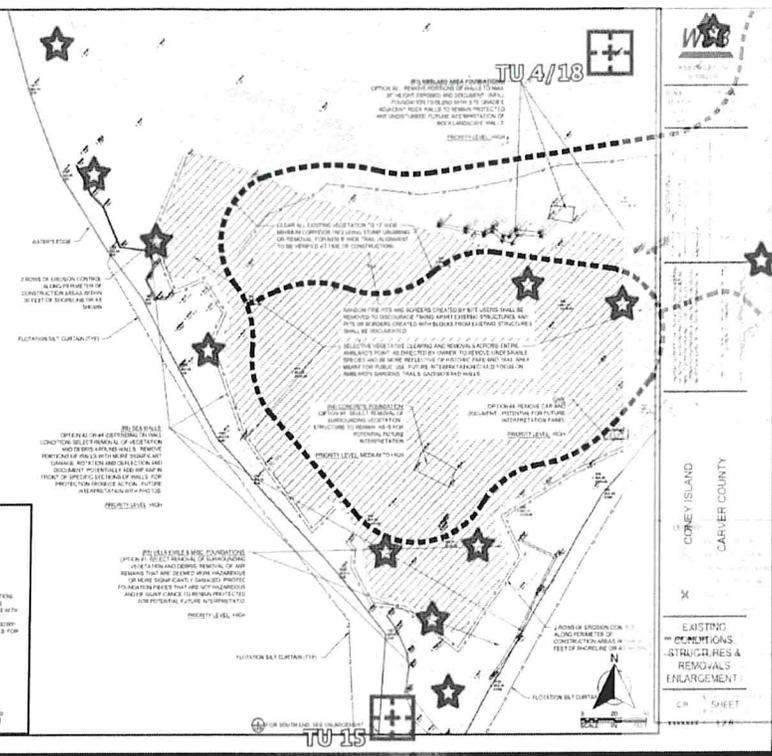
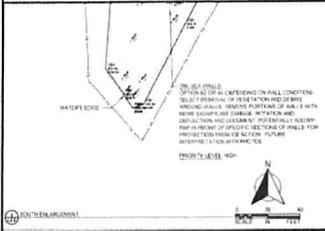
SEA WALLS TO REMAIN PROTECTED AND UNDISTURBED

FOR SOUTH END SEE ENLARGEMENT I

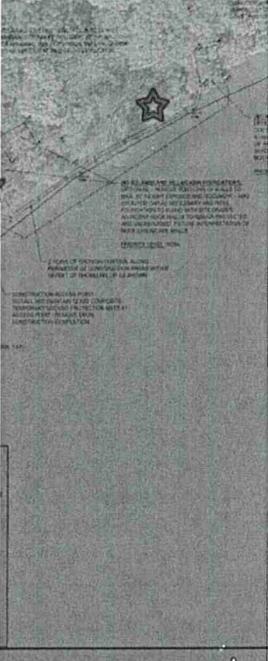
Figure 19: Map I_I with Archaeological Testing Results

Map I
30% Plans with Positive Testing Results
Waconia, Carver County, Minnesota
Blondo Consulting, LLC

- EXISTING OPEN-GROWING TREES
- EXISTING CONIFER TREES
- TREE REMOVAL
- SELECTIVE CLEARING
- REMOVAL CLEARING
- UPSIDE LEAF CORROSION
- 1" NATURAL SOIL PATH
- EROSION CONTROL
- RAIL FENCE
- ALLOCATION SELF FENCE
- TREE PROTECTION



- Legend**
- Area of Concern for Subsurface Materials
 - Positive Shovel Test
 - Test Unit



Google Earth

100 ft

4.8 Map J

The area depicted in maps J involves minimal selective clearing and removal of vegetation in the area of “Amblard’s Point” and above the Hirschfield boathouse to create views of the lake and the boathouse area. The following table includes the historic ruin features that are present in this area and the proposed treatment option for each. Multiple segments of trail are proposed for this area and can be divided into two types. Vegetation clearing for both trail types will involve stump grubbing and removal. The first type of trail includes a cleared twelve-foot minimum corridor and consists of an eight-foot-wide standard aggregate pavement path with a six-inch depth. A portion of this trail will consist of the beginning of a ten percent slope that will be cut into the existing embankment for a more stable surface. Cut and fill areas along this trail will range from approximately twelve feet deep to two feet high and will be constructed using a rolling grade technique. A second type of trail will consist of a five-foot minimum cleared corridor with a three-foot-wide natural soil path. A temporary construction access point is proposed to be located in this area consisting of a twelve by twenty-foot composite ground protection mat that will be removed with the completion of construction and replaced with an eight foot by eight-foot concrete pad and boarding dock. A portion of the proposed trail alignment on this map exists within Archaeological Phase II Cluster 2 testing area and will travel to the east of Test Units 4 and 18.

This portion of the Historic Property maintains integrity of location, design, setting, materials, workmanship, feeling, and association through the historic patterning of man-made features representing the historic use as a recreational destination; the layout of the island and major elements of the 1884 platted Coney Island of the West Townsite are present and easily recognizable in the “Amblard’s Point” and “Hirschfield Gardens” area. Integrity is also seen through prehistoric and historic patterning found in features and diagnostic artifacts recovered from this area and through 100-year old vegetation and manmade features, which are still evident on the landscape. Portions of the proposed construction within this area will have an adverse effect within the Direct APE and the Indirect (Visual) APE with both historic and subsurface features affected.

Trail modifications or alternative alignment in this area would be required to avoid subsurface features within Cluster 6. If avoidance is not possible, mitigation alternatives must be in place to retrieve significant information through excavation of portions of the Historic Property that may be impacted. This additional archaeological work is recommended prior to subsurface disturbance. Monitoring of construction activities may also be appropriate. Documenting changes and interpreting historic features will help to avoid and minimize adverse effects to this portion of the island. The proposed project plans describe the trail alignments will be verified at the time of construction, which will also help to minimize adverse effects. Figures 20 and 21 show the proposed project plans and Figure 22 shows those plans along with the archaeological testing results.

Table 6: Historic Ruins Map J			
Field Designation	Historic Name	Proposed Treatment Option	Effects Recommendation
N1-N2	Hirschfield Boathouses	<p>N1 (western boathouse)- Option 4: Proposed removal of the majority of the building for safety. Adjacent slopes will be filled in and stabilized with a portion of the foundation wall left exposed for interpretation during future phases. These features are high priority.</p> <p>N2 (eastern boathouse)- Option 2 or 3: Proposed filling and/or the reduction of the foundation wall to reduce the overall grade and stabilize the foundation. Fencing will be utilized to limit access. Portions of the foundation will be left exposed for interpretation during future phases. These features are medium priority.</p>	Adverse Effect, can be mitigated through documentation and interpretation.
R2-R3	Amblard Villas/Cabins	Option 2: Proposed removal of portions of foundation walls to a height of thirty inches or less exposed and infilling of foundations to blend with existing site grades. Rock landscape walls adjacent to foundations to remain undisturbed with interpretation of the are part of future phases. These features are high priority.	Adverse Effect, can be mitigated through documentation and interpretation.

Figure 20: Map Enlargement J_I - Existing Conditions, Structures and Removals



WSB PROJECT NO
B11092-000

SCALE: AS SHOWN DESIGN BY: CCA
PLAN BY: CCA CHECK BY: CCA
BM

NO.	DATE	DESCRIPTION

PROBABILITY CERTAIN THAT THERE IS AN UNRECORDED EASEMENT OR OTHER INTEREST IN THE LAND SHOWN ON THIS PLAN. THE USER OF THIS PLAN SHOULD CONDUCT A TITLE SEARCH TO DETERMINE THE EXACT NATURE AND SCOPE OF ANY SUCH INTEREST.

DATE: 05/13/13 DRAWN BY: CCA CHECK BY: CCA

CONEY ISLAND
CARVER COUNTY

EXISTING CONDITIONS,
STRUCTURES &
REMOVALS
ENLARGEMENT J

C.P. SHEET
XXXXXXX L2.7

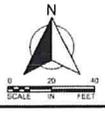
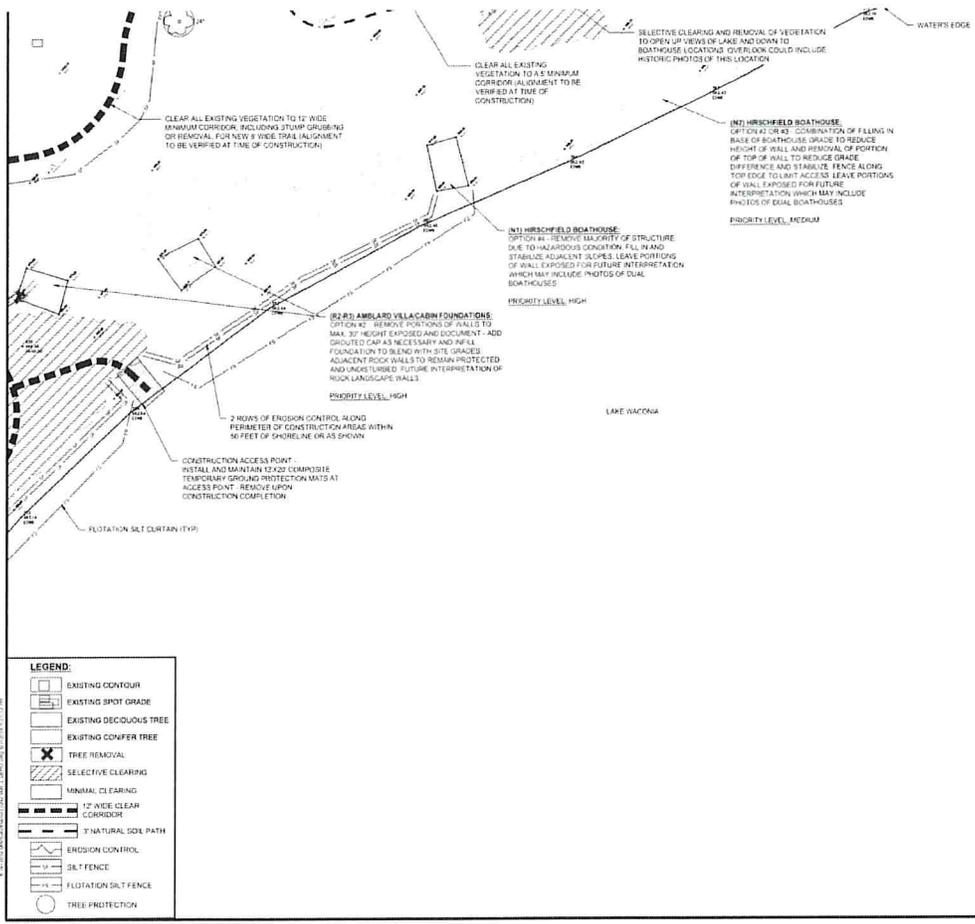


Figure 21: Map Enlargement J_2- Layout and Grading

RESTORATION NOTE
ALL DISTURBED AREAS TO BE
SEEDED AND BLANKETED (TYP.)



WSB PROJECT NO
B1092-000

SCALE AS SHOWN
PLAN BY BAK
DESIGN BY CCA
CHECK BY CCA

REVISIONS	
NO.	DESCRIPTION

WHERE CERTAIN THAT THERE ARE NO PROJECTIONS
ON THE SURFACE OF ANY OBJECTS TO BE REMOVED BY
THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR
IDENTIFYING THE SAME TO THE STATE OF ALABAMA.
DATE: _____ CHANGE NUMBER: _____

CONEY ISLAND
CARVER COUNTY

LAYOUT & GRADING
ENLARGEMENT J

C.P. SHEET
XXXXXXXXX L3.1

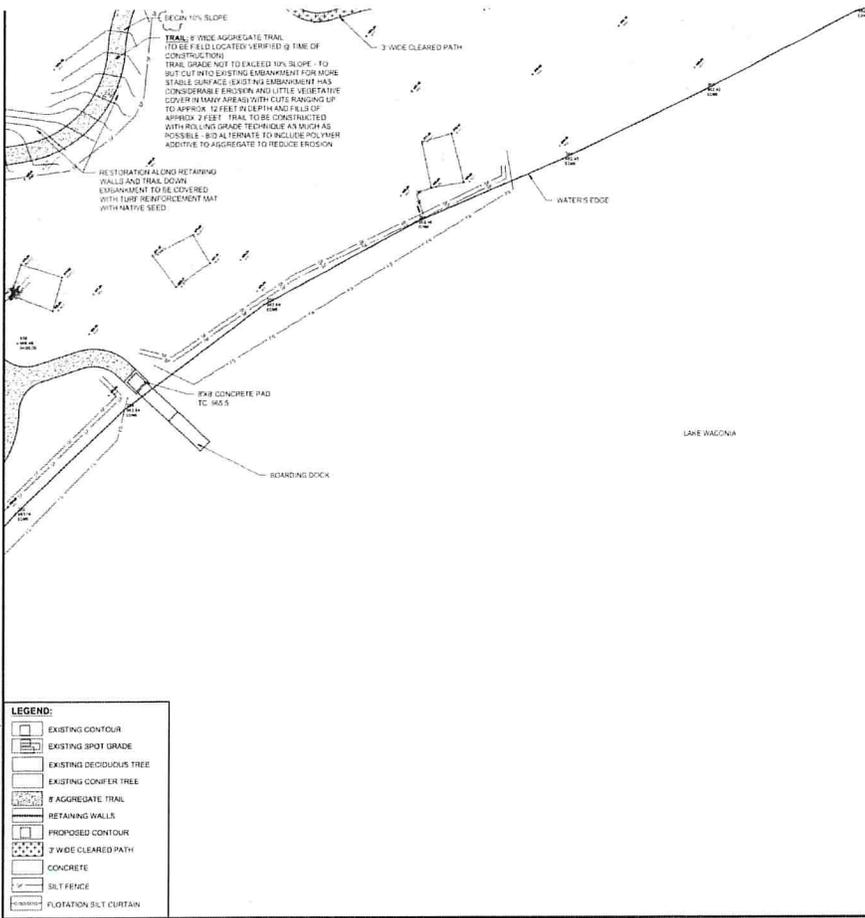


Figure 22: Map J_I with Archaeological Testing Results

5.0 DISCUSSION AND CONCLUSIONS

Blondo Consulting, LLC (Blondo Consulting) was retained by WSB and Associates (WSB) on behalf of Carver County Parks to complete a Determination of Effects on the *National Register of Historic Places* listed Coney Island of the West Site (21CR0164/CR-WAT-001) as part of the proposed Lake Waconia Regional Park, Coney Island of the West. The island is located in Lake Waconia, within Township 116 north, Range 25 west, Sections 12 and 13 of Carver County, Minnesota.

Coney Island of the West was previously listed in the *National Register of Historic Places* for its significance in tourism and recreation within Waconia and the greater Twin Cities region. Following the cultural resource investigations on the island in 2016 and 2017, it was determined that Coney Island retains significance and integrity for continued inclusion in the *National Register*. As a listed Historic Property, development of the island by Carver County Parks requires a cultural resources survey and consultation with the Minnesota State Historic Preservation Office (SHPO) under Minnesota Statute 138, which includes the Minnesota Field Archaeology Act and the Historic Sites Act. From the start, Carver County Parks have been good stewards for the island, developing the proposed plans in conjunction with the State Historic Preservation Office and the public's desire to continue the tradition of tourism and recreation on the island in a safe and accessible way. The recommendations within this report will assist Carver County Parks to continue this development of the island.

Overall, the proposed improvements will have an adverse effect to the eligible Coney Island of the West Historic Property. However, steps are already in place to avoid and minimize many potential adverse effects through the proposed trail design and the avoidance of contributing features. Some of these steps include routing proposed trails around existing historic and prehistoric features and field verifying the alignment to ensure disturbance will be minimal; removing select vegetation, stabilizing visible features, and utilizing fencing to prepare historic elements for future interpretation and providing for the safety of visitors; and blending new construction in with the existing natural characteristics of the island to make the new improvements less intrusive to the Historic Property. Continued consultation between Carver County Parks, WSB, Blondo Consulting, SHPO, and OSA is ongoing to meet the requirements of Minnesota Statute 138. In areas where avoidance and the minimization of effects is not possible, mitigation is recommended. Avoiding and minimizing effects could involve:

- Adjusting portions of the trail alignment to avoid areas that were identified as positive for subsurface cultural material during Phase I and Phase II archaeological testing;
- Protecting areas with historic and subsurface features from impact during construction activities and from public visitors through the use of fencing, interpretation, and signage;
- Using existing features such as concrete sidewalks and garden borders to inform on proposed trail placement and design;

- Utilizing areas that were identified as negative for subsurface cultural material during Phase I and Phase II archaeological testing for proposed improvements such as vault restrooms and boat access;
- Utilizing areas identified during the Phase I and II archaeological testing that were either negative for subsurface cultural material, or low potential for cultural material such as slopes greater than twenty percent, for proposed trail alignments and other improvements.

Many of these steps are already in place and are depicted on the thirty percent plan set developed by WSB. If minimizing adverse effects cannot take place, mitigation recommendations could include:

- Site interpretation which could include:
 - signage with historical information and photos;
 - digital interpretation through the use of apps such as historic augmented reality and oral history recordings (referencing both historic and prehistoric periods of significance);
 - artistic interpretation of the history of the island (this could include involvement with local and tribal artisans);
 - Student programs on and off the island, partnering with the Carver County Historical Society and other groups;
- Additional archaeological excavation including shovel tests and test units;
- Public presentations and involvement, before, during, and after construction;
- Documentation of all proposed cleanup, removal, and construction activities within areas that involve historic ruins and features; this could include:
 - Controlled sampling of historic artifacts and debris by archaeologist and public volunteers;
 - Photographic records of all cleanup- before, during, and after;
 - Video recording using handheld cameras (go-pros) and drones of the entire process;
 - Additional detailed mapping by hand and using GPS units;
- Archaeological monitoring of, and involvement in, cleanup, removal, and construction activities.

Some interpretation plans are being developed to be implemented in future phases. These may include utilizing historic photographs to demonstrate what specific historic features once looked like on the landscape. Blondo Consulting has highlighted specific areas within the thirty percent trail design that are of particular concern for adverse effects to contributing elements of the Historic Property. Those areas are highlighted in the previous sections and it is recommended that additional archaeological excavation take place in those areas if adjustments to the trail alignment are not possible.

Other counties have developed similar parks within historic landscapes that have had success in balancing new park improvements with maintaining the significance of the Historic Property. One such example is the Milford Mine Memorial Park in Crow Wing County, Minnesota. This site consists of a *National Register* Listed site that includes open mine shafts and other mining related ruins and features. Crow Wing County developed plans for the addition of trails and public spaces for visitors to come and enjoy the nature within the park and preserve and learn about the history of the Milford Mine. A long-term management plan was developed as part of the park improvements to assist in guiding future phases of work. Details of the process of park development and the Cultural Landscape Report can be found on the Crow Wing County website- Milford Mine Memorial Park (Crow Wing County 2018). An additional example includes the Quarry Park and Nature Preserve. This park is located in Stearns County, Minnesota and offers an example of park development within a natural setting that contains some dangerous man-made features including the remnants of rock quarrying. This park is not currently considered a Historic Property under the *National Register of Historic Places*; however, part of the park's mission is to highlight the history of the landscape as well as providing for recreational opportunities and the safety of its visitors. Additional information can be found on the Stearns County website- Quarry Park and Nature Preserve and within the Quarry Park and Nature Preserve Master Plan (Stearns County 2018). Modelling a plan for continued stewardship of the island that provides continued guidance for additional phases of work and ongoing park maintenance off of examples like these would be beneficial to Carver County Parks.

WSB has developed a proposed trail alignment that will travel from east to west along the south side of the island and will include amenities such as vault restrooms, picnic areas, and dock access. As part of these proposed improvements, some areas of the island will be adversely affected by construction activities. Based on the review of the proposed Phase One Improvement Plan, Blondo Consulting recommends the Coney Island of the West Historic Property will be adversely affected. The plans evaluated at this time are at thirty percent completion and represent an initial proposed Phase One development of Coney Island. WSB, on behalf of Carver County Parks, will take recommendations contained in this report and following agency review of this thirty percent plan set into consideration in order to appropriately address the proposed modifications within the listed Historic Property.

With any project, there is the chance of unanticipated discovery. Should additional archaeological materials surface during any future construction, it is advised that a professional archaeologist be consulted. Minnesota Statute 307.08 protects unplatted cemeteries (including burial mounds) and issues guidelines for dealing with unexpected finds. Should human remains be encountered during earth moving activity, all work must stop and local law enforcement must be called.

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 n.d. Various files for recorded sites, archaeological as well as surveys conducted within the state.

Minnesota State Historical Preservation Office Files (SHPO files)

- n.d. Various Files for recorded sites, archaeological, architectural as well as surveys conducted within the state.

Nelson, Charles W.

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Stearns County

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Terrell, Michelle M. and Amanda Gronhovd

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Waconia Heritage Association

- 1986 Waconia: Paradise of the Northwest. Taylor Publishing Company, Dallas, Texas.

Wolf, Kelly and Steven Blondo

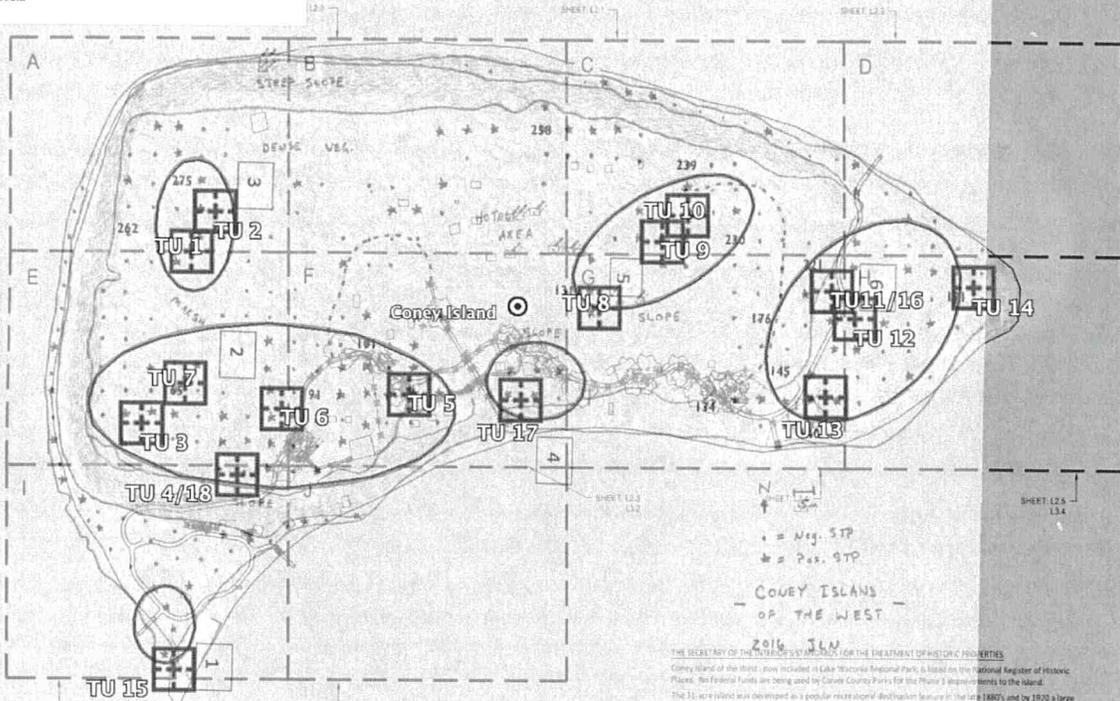
- 2017 Phase II Historic Evaluation of the Coney Island of the West National Register of Historic Places Listing, Waconia, Carver County, Minnesota. Blondo Consulting, LLC.

Attachment I: Maps

Coney Island of the West

Phase One Proposed Improvements Plan with Phase I and II Archaeological Testing Areas
 Waconda, Carver County, Minnesota
 Blondo Consulting, LLC

Legend
 * Cluster Areas
 □ Test Units



THE SECRETARY OF THE INTERIOR'S POLICY FOR THE TREATMENT OF HISTORIC PROPERTIES
 Coney Island of the West, now included in Lake Waconia Regional Park, is listed on the National Register of Historic Places. No Federal funds are being used by Carver County Parks for the Phase I Improvements to the island.
 The island was developed as a popular recreational destination between the late 1860's and by 1920 a large resort. Local lumber saw mills on the island. There were approximately 80 various buildings built on the island along with working saunas, tavern, grounds, and well-manicured and arranged golf park, open developed for summer recreational use. Summer area was used on the island where various private cabins and bathhouses were built at the island convenient to be used for summer recreational purposes. Over time most of the cabins were left abandoned.

Google Earth
 © 2016 Google

CONEY ISLAND OF THE WEST
 CARVER COUNTY MINN.

Sections 12-13, Township 14N, Range 25N, SPM
 Scale 100' = 1" (1/4")
 James Corr
 Civil Engineer & Surveyor
 Registered
 126 St. Third St. Room 200
 Minneapolis, Minn.
 Sept 1940

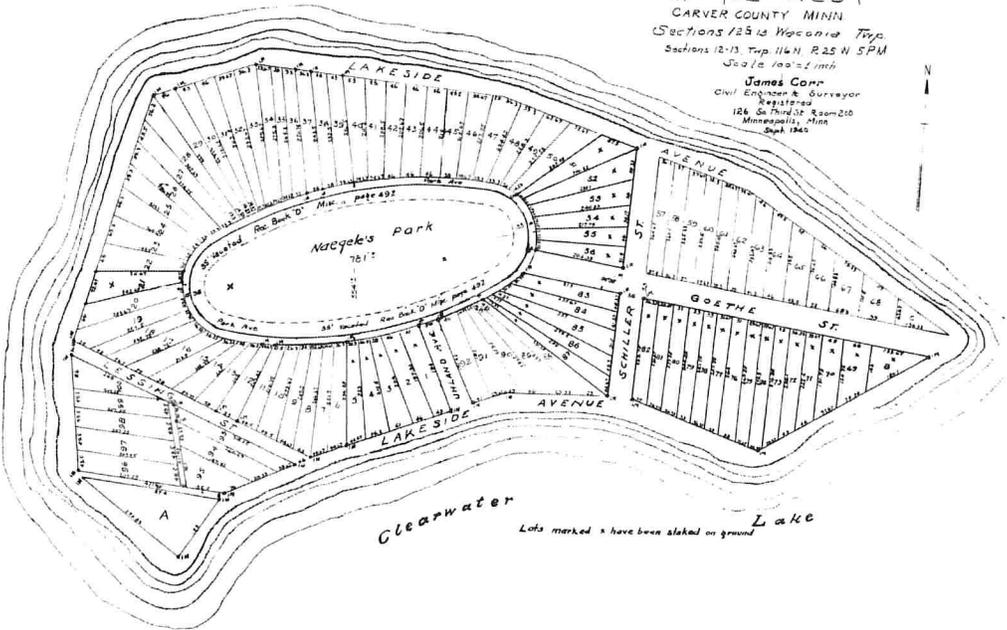
JAMES CORR
 CIVIL ENGINEER AND SURVEYOR
 REGISTERED UNDER MINNESOTA LAW
 LICENSE NO. 10000
 MINNEAPOLIS, MINN.

Buried in Nagsale's Park and east portion of Park Avenue adjacent thereto, which is sections and Lots 1 to 5 inclusive, Lot 11, Lots 12 to 16 inclusive, Lot 8 and Lots 92 to 97 inclusive, all in Coney Island of the West, in Clearwater Lake at Waconda, Minnesota, in Section 12 & 13 of Township 14 North, Range 25 West, 5th P.M., according to the returned Plat thereof in the Office of the Register of Deeds of Carver County, Minnesota.

STATE OF MINNESOTA
 COUNTY OF MINNESOTA
 I, JAMES CORR, Surveyor
 do hereby certify that on the 15th day of September, A.D. 1940 I surveyed the following real estate to wit: as described above in this plat hereto attached in a true representation of the same as the same was shown to me by the owners and as shown in fact and details of a plat.

- NOTES:**
- 1) This drawing is a certificate of survey of part of the lots in "Coney Island of the West" surveyed by James Corr in September of 1940--from the files of Frank Caporale, L.S.
 - 2) "Coney Island of the West" was first surveyed and platted by Herman Hensley, Carver County Surveyor, on May of 1868.
 - 3) Lambert Hensley, the owner and proprietor in 1868, donated and dedicated to public use forever all the streets, avenues and alleys shown on the plat.
 - 4) The Plat Book of Carver County, published by the Hudson Bay Company in 1907, indicates the private park site is known as Coney Island Park.

June 1, 1971
 Carlisle Mathis,
 Carver County Surveyor



Clearwater Lake
 Lots marked x have been staked on ground

